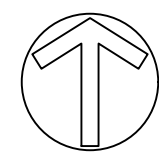


VICINITY MAP

SCALE: 1"=200'



TRAFFIC IMPACT ANALYSIS (TIA) - 1300 BUCK JONES ROAD CARY, NC

PREPARED BY DREW DRAPER, PTP TRANSPORTATION PLANNING MANAGER
MAY 03, 2019

Table 1: ITE Estimates at Full Capacity. Table with 9 columns: ITE Land Use - Land Use Code, Independent Variable, 24 Hour Two-Way Volume, Weekday AM Peak Trips (Enter, Exit, Total), Weekday PM Peak Trips (Enter, Exit, Total).

SPECIAL USE PERMIT PLANS FOR THE ANCHOR AUTO OUTLET, INC TOWN OF CARY WAKE COUNTY, NC 02/15/19

Revision #1: 04/18/19

Revision #2: 05/24/19

Revision #3: 06/19/19

Town of Cary Project# 19-DP-6072

1300 BUCK JONES ROAD, RALEIGH, NC 27606

PIN # : 0773539588

REAL ESTATE ID: 0101556

DEED BOOK 11966 / PAGE 288

ACREAGE: 7.08 AC

EXISTING ZONING: GC (GENERAL COMMERCIAL DISTRICT)

INDEX OF SHEETS

Index of sheets table with 2 columns: Sheet ID (CV-1, EX-1, etc.) and Description (COVER SHEET, EXISTING CONDITIONS, etc.).

GENERAL NOTES:

- 1. FIELD TOPOGRAPHIC SURVEY PERFORMED BY WETHERILL ENGINEERING JANUARY, 2019.
2. THE CONTRACTOR SHALL CONTACT NC ONE CALL CENTER (1-800-632-4949) PRIOR TO EARTHWORK DISTURBANCE FOR PROPOSED PLANTINGS.
3. THE CONTRACTOR SHALL CHECK PLANS AND FIELD CONDITIONS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
5. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES IN ACCORDANCE WITH TOWN OF CARY STANDARD DETAILS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY.
8. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED IN THE AREA BY ANY OTHER CONTRACTORS AND UTILITY COMPANIES.
9. NO ADDITIONAL IMPERVIOUS SURFACE IS PROPOSED.
10. CONTOURS SHOWN ON EC-1 AND EC-2 OBTAINED FROM TOWN OF CARY GIS FOR DRAINAGE PATTERN INFORMATIONAL PURPOSES ONLY.

TOWN OF CARY NOTES:

- 1. NO CHANGES TO ANY ASPECT OF THIS DEVELOPMENT PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, ARCHITECTURAL DESIGN, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW COMMITTEE OF THE TOWN OF CARY.
2. UNLESS EXPLICITLY SPECIFIED IN THE NOTES ON THIS DEVELOPMENT PLAN, THIS PROJECT, INCLUDING ANY SUBSEQUENT DEVELOPMENT PLANS, SHALL COMPLY WITH THE CARY LAND DEVELOPMENT ORDINANCE (LDO) AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES.
3. SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED WITH THIS DEVELOPMENT PLAN.
4. THE FOLLOWING MODIFICATION(S) TO THE TOWN'S DEVELOPMENT STANDARDS HAVE BEEN APPROVED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE LDO.
4.a. NO MODIFICATIONS REQUESTED.

PROJECT NARRATIVE:

THE PURPOSE OF THESE PLANS IS TO OBTAIN A SPECIAL USE PERMIT FOR AN EXISTING SITE, ZONED GENERAL COMMERCIAL (GC), PREVIOUSLY UTILIZED AS A USED AUTO SALES. THE CONSTRUCTION OF THIS PROJECT INVOLVES THE INSTALLATION OF REQUIRED VEGETATION TO MEET THE INTENT OF THE TOWN OF CARY (TOC) LAND DEVELOPMENT ORDINANCE (LDO) AS WELL AS PROVIDE VEHICULAR AND BICYCLE PARKING PER THE LANDUSE, AS OUTLINED IN THE TOC LDO.
LANDSCAPING SHALL BE INSTALLED WITHIN EXISTING GREEN SPACES, PARKING ISLANDS AND STREET YARDS. MINOR GRADING SHALL ONLY BE REQUIRED TO RETURN THE SITE TO ITS EXISTING CONDITION, NO EARTHWORK OR MASS GRADING SHALL BE REQUIRED.
EXISTING VEHICLE PARKING STRIPING SHALL BE REMOVED AND REQUIRED PARKING SPACES RESTRIPTED, PER THE TOC STANDARD SPECIFICATIONS, AS SHOWN ON THE DESIGN DRAWINGS. REQUIRED BICYCLE PARKING SHALL BE INSTALLED IN AN EXISTING IMPERVIOUS AREA AND SHALL NOT IMPEDE PEDESTRIAN CIRCULATION ON THE SITE.
EROSION AND SEDIMENT CONTROL (ESC) MEASURES SHALL BE PLACED PRIOR TO CONSTRUCTION. ALL ESC MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND REMAIN IN PLACE UNTIL THE SITE IS STABILIZED AND THE CONTRACTOR IS AUTHORIZED TO REMOVE THEM.

SITE DATA:

OWNER: MARTIN PROPERTY LIMITED PARTNERSHIP
1201 BUCK JONES ROAD
RALEIGH, NC 27606
PIN#: 0773539588
REAL ESTATE ID: 0101556
DEED BOOK: 11966 PAGE: 228
LOT ACREAGE: 7.08 AC
ZONING: GC (GENERAL COMMERCIAL DISTRICT)
OVERLAY DISTRICT: NONE
WETLANDS: NO WETLANDS ARE PRESENT ON SITE
100 YEAR FLOODPLAIN DESIGNATION: NONE
WATERSHED: SWIFT CREEK
DISTURBED AREA: 91,960 SF (2.11 ACRES±)
EXISTING BUILDING SF: 71,360 SF
PROPOSED BUILDING SF: 0SF
PROPOSED USE FOR EXISTING BUILDING SF:
OFFICE: 4,970 SF
INDOOR STORAGE: 4,405 SF
INDOOR DISPLAY: 59,760 SF
VEHICLE SERVICE: 2,225 SF
71,360 SF
PROPOSED OUTDOOR DISPLAY AREA: 104300 SF
EXISTING ON-SITE IMPERVIOUS:
BUILDING: 71,360 SF
ASPHALT: 144,563 SF
CONCRETE: 22,785 SF
238,708 SF (5.48 AC)
PROPOSED IMPERVIOUS SURFACE SF: 0SF
BUILD UPON AREA (BUA): 5.47AC / 7.08 AC= 77.4%
ROADWAY SETBACK: (IN ADDITION TO STREETSCAPE BUFFER)
PRINCIPLE USE AREA: 10'
VEHICULAR USE AREA: 5'
STREETSCAPE SCREEN REQUIREMENT:
STREET CLASSIFICATION - COLLECTOR (BUCK JONES ROAD)

ADJ. PROPERTY ZONING/CLASS: GENERAL COMMERCIAL, CLASS 6
BUFFER SCREEN REQ'D: 20' TYPE C

BUFFERS:
PROJECT SITE BUFFER CLASS - CLASS 6
ADJACENT PROPERTY TYPE, BUFFER CLASS: RESIDENTIAL MULTI-FAMILY, CLASS 5
GENERAL COMMERCIAL, CLASS 5

SIGHT DISTANCE TRIANGLE:
BUCK JONES RD DESIGN SPEED= 40 MPH
D1= 15LF
D2= 445LF
D3= 385LF

PARKING SPACES REQ'D:
STANDARD VEHICLE: 67 SPACES
a. 1/ 300 SF OFFICE = 4,970/300= 16.57= 17 SPACES REQ'D
b. 1/ 500 SF INDOOR STORAGE= 4,405/500= 8.81= 9 SPACES
c. 1/ 5,000 SF INDOOR SALES/DISPLAY AREA= 59,760/5,000= 11.95= 12 SPACES REQ'D
d. 1/ 5,000 SF OUTDOOR SALES/DISPLAY AREA (OVER 3,000 SF)= 104,300/5,000= 20.86= 21 SPACES REQ'D
e. 2/ BAY FOR INDOOR VEHICLE SERVICE AREA= 4 BAY*2= 8 SPACES REQ'D
ADA: 51-75 SPACES= 3 SPACES REQ'D, 1 SPACE DESIGNATED AS VAN BICYCLE: 1 RACK

PARKING SPACES PROV'D:
STANDARD VEHICLE: 67 SPACES
a. 17 SPACES
b. 9 SPACES
c. 12 SPACES
d. 21 SPACES
e. 8 SPACES
ADA: 3 SPACES (1 VAN)
BICYCLE: 1 RACK
INFRASTRUCTURE LINEAR FOOTAGE
ROADS: 0LF
FIRE LANES: 0LF
SANITARY SEWER MAIN: 0LF
WATER MAIN: 0LF
RECLAIMED WATER MAIN: 0LF

PROPOSED UTILITY TAPS:
SANITARY SEWER TAP: 0
WATER TAP: 0
RECLAIMED WATER TAP: 0

OWNER / DEVELOPER:

MARTIN PROPERTY LIMITED PARTNERSHIP
1201 BUCK JONES ROAD
RALEIGH, NC 27606
CONTACT: SAMUEL
EMAIL: SAM31ANCHOR@GMAIL.COM

CIVIL / SITE ENGINEER:

WETHERILL ENGINEERING, INC.
1223 JONES FRANKLIN RD.
RALEIGH, NC 27606
PH: 919.851.8077
FAX: 919.851.8107
CONTACT: MIKE ZACCARDO, PE
MZACCARDO@WETHERILLENG.COM



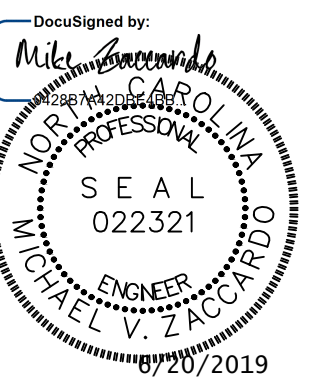
Know what's below. Call before you dig.

APPROVED by the Town of Cary Development Review Committee



19-DP-6072
By: Kevin A. Hales
07/23/2019

FINAL DESIGN FOR APPROVAL



ANCHOR AUTO OUTLET, INC.
1300 BUCK JONES ROAD
TOWN OF CARY
NORTH CAROLINA
WAKE COUNTY
COVER SHEET

Revision table with columns: Issue, Date, By. Shows revisions 1, 2, and 3.

Town of Cary Project# 91-DP-6072
Project No: 19341.04
Checked By: MVZ
Drawn By: JEW
Drawing: COVER SHEET
File Name: CV-1.DWG
Sheet: CV-1