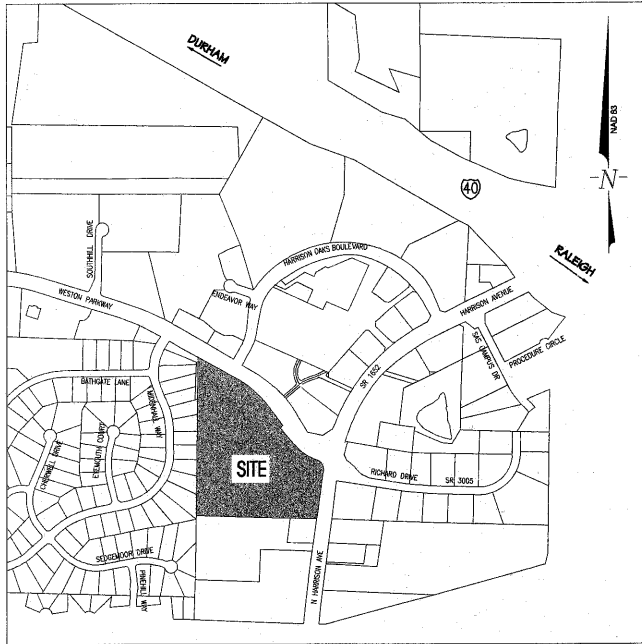


VICINITY MAP 1"=500'



LAND USE CONDITIONS - ARBORETUM P.U.D.

1. THERE SHALL BE A THIRTY-FOOT STREETSCAPE BUFFER ALONG NORTH HARRISON AVENUE AND WESTON PARKWAY, EXCEPT FOR A SHORT LENGTH WEST OF THE RIGHT-IN/RIGHT-OUT DRIVEWAY ON WESTON PARKWAY.
2. OUTSIDE DINING AREAS MAY VARY IN LOCATION AND SIZE DEPENDING ON SPECIFIC TENANTS.
3. WHEN THE SITE PLAN FOR THE ARBORETUM IS SUBMITTED, BUILDING FOOTPRINTS MAY VARY FROM THE ILLUSTRATION SHOWN IN THE MASTER LAND USE PLAN DEPENDING ON SPECIFIC TENANT NEEDS - THE CONCEPT AS SHOWN SHALL BE MAINTAINED. CHANGES MAY OCCUR AS PER S.5.13 CHANGE TO APPROVED MASTER LAND USE PLANS, CARY U.D.O.
4. ALL SERVICE PLAZAS ON THE PARKING DECK AND THE PARKING WILL BE CONSTRUCTED SO THAT CAR LIGHTS WILL NOT SHINE THROUGH EXTERIOR WALL OPENINGS.
5. PLANTING BOXES WILL BE ADDED TO THE EXTERIOR DECK ELEVATIONS.
6. ACCESS TO NORTH HARRISON AVENUE WILL BE LIMITED TO A RIGHT-IN/RIGHT-OUT ACCESS AND A CONCRETE MEDIAN MUST BE INSTALLED WITHIN NORTH HARRISON AVENUE TO PROHIBIT ANY LEFT TURNING MOVEMENTS.
7. A CONTINUOUS SOUTHBOUND THROUGH/RIGHT TURN LANE ALONG NORTH HARRISON AVENUE, FROM WESTON PARKWAY ACROSS THE ENTIRE FRONTAGE OF THE SITE TO THE PROPOSED RIGHT-IN/RIGHT-OUT ACCESS, WILL BE PROVIDED.
8. AN ADDITIONAL EASTBOUND TURN LANE WILL BE PROVIDED TO ACCOMMODATE THE VOLUME OF SITE-GENERATED TRAFFIC ALONG WESTON PARKWAY. THIS SHALL ALSO INCLUDE SIGNAL MODIFICATIONS AND PAVEMENT MARKINGS TO SUPPORT THE ADDITIONAL TURN LANE. (THESE ADDITIONAL IMPROVEMENTS SHALL BE COORDINATED WITH THE NC DEPARTMENT OF TRANSPORTATION TO CONFORM WITH THEIR PROJECT AND SHALL BE INSTALLED PRIOR TO ANY CERTIFICATES OF OCCUPANCIES BEING ISSUED FOR THE PROPOSED SITE.)
9. ALL OUT PARCEL ACCESS SHALL BE INTERNAL AND NO DIRECT ACCESS TO WESTON PARKWAY OR NORTH HARRISON AVENUE WILL BE PROVIDED.
10. WITH THE SUBMITTAL OF THE FIRST SITE PLAN, A MASTER ARCHITECTURAL PLAN WILL BE SUBMITTED.

LAND USE CONDITIONS - O&I CU 98-REZ-45

1. ALONG THE SOUTHERN BOUNDARY OF PARCEL 0765.02-75-4956 AND A PORTION OF PARCEL 0765.02-75-9227 THERE SHALL BE A TWENTY-FIVE FOOT UNDISTURBED BUFFER. THE BUILDING SETBACK LINE SHALL BE 10' FROM THE PROPERTY LINE OF PARCEL 0765.02-75-9227. BETWEEN THE UNDISTURBED BUFFER LINE AND THE BUILDING SETBACK LINE, SOME CONSTRUCTION-RELATED LAND DISTURBANCES WILL LIKELY OCCUR. FOLLOWING CONSTRUCTION, THE AREA THAT WAS DISTURBED SHALL BE REPLANTED, AT A MINIMUM, TO A TYPE A BUFFER STANDARD.
2. ALONG THE WESTERN BOUNDARY OF PARCELS 0765.02-75-4950 AND 0765.02-75-2723 THERE SHALL BE A 10' BUFFER, WHICH SHALL BE UNDISTURBED EXCEPT FOR AN AREA OF TWENTY FEET IN WIDTH WHERE NECESSARY FOR GRADING OR CONSTRUCTION OF A RETAINING WALL. FOLLOWING ANY SUCH CONSTRUCTION, REPLANTING IN THE TWENTY-FOOT AREA SHALL CONFORM, AT A MINIMUM, TO THE TYPE A BUFFER PLANTING STANDARD.
3. A DECORATIVE, CONSTRUCTED WALL (NOT A WOODEN FENCE) IS PERMITTED IN THIS BUFFER. THE WALL WILL BE FIELD LOCATED INSIDE THE BUFFER AS CLOSE TO THE EASTERN ZONING BOUNDARY AS IS PRACTICABLE, WITH CONSIDERATION GIVEN TO TOPOGRAPHY AND EXISTING TREES. PLEASE SEE THE ZONING EXHIBIT MAP. THE WALL SHALL BE A MINIMUM OF 8' IN HEIGHT. ALONG THE WALL THERE SHALL BE A ROW OF LEXLAND CYPRESS PLANTED FOUR (4) TO FIVE (5) FEET IN HEIGHT, 10 FEET ON CENTER.
4. THE STREETSCAPE PLANTINGS ESTABLISHED BY WESTON PUD SHALL BE MAINTAINED AND CONTINUED ALONG WESTON PARKWAY AND NORTH HARRISON AVENUE. THE TYPE AND LOCATION OF PLANT MATERIAL WILL BE APPROVED BY THE TOWN OF CARY.
5. ON THE WEST AND SOUTH SIDES OF PARCEL 0765.02-75-9319 THERE SHALL BE A TWENTY-FOOT TYPE A BUFFER.
6. THERE SHALL BE A THIRTY-FOOT STREETSCAPE BUFFER ALONG NORTH HARRISON AVENUE, WHICH SHALL BE AN EXTENSION OF THE EXISTING STREETSCAPE PLANTED FOR WESTON.
7. ALL STRUCTURES SHALL MEET THE ARBORETUM PUD ARCHITECTURAL STANDARDS.
8. INTERNAL ACCESS POINTS FOR THE O&I TRACT AND PAVED ACCESS WHICH WILL BE PROVIDED TO ADJOINING PROPERTY TO THE SOUTH ARE INDICATED ON THE ATTACHED MAP.
9. USES PERMITTED IN STRUCTURES SHALL BE LIMITED TO OFFICES AND FINANCIAL INSTITUTIONS ONLY.

INDEX OF SHEETS
DRAWING DESCRIPTION

- | SHT No. | DRAWING DESCRIPTION |
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| 3 | PAVING PLAN - PHASE 2 RETAIL |
| 4 | GRADING, STORM DRAINAGE & EROSION CONTROL PLAN - PHASE 2 RETAIL |
| 5 | DETAILED GRADING PLAN - PHASE 2 RETAIL |
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OWNER/DEVELOPER

CARY ARBORETUM LLC
P.O. BOX 3007
CARY, NORTH CAROLINA 27519

PREPARED BY:

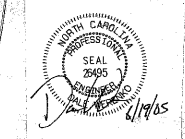
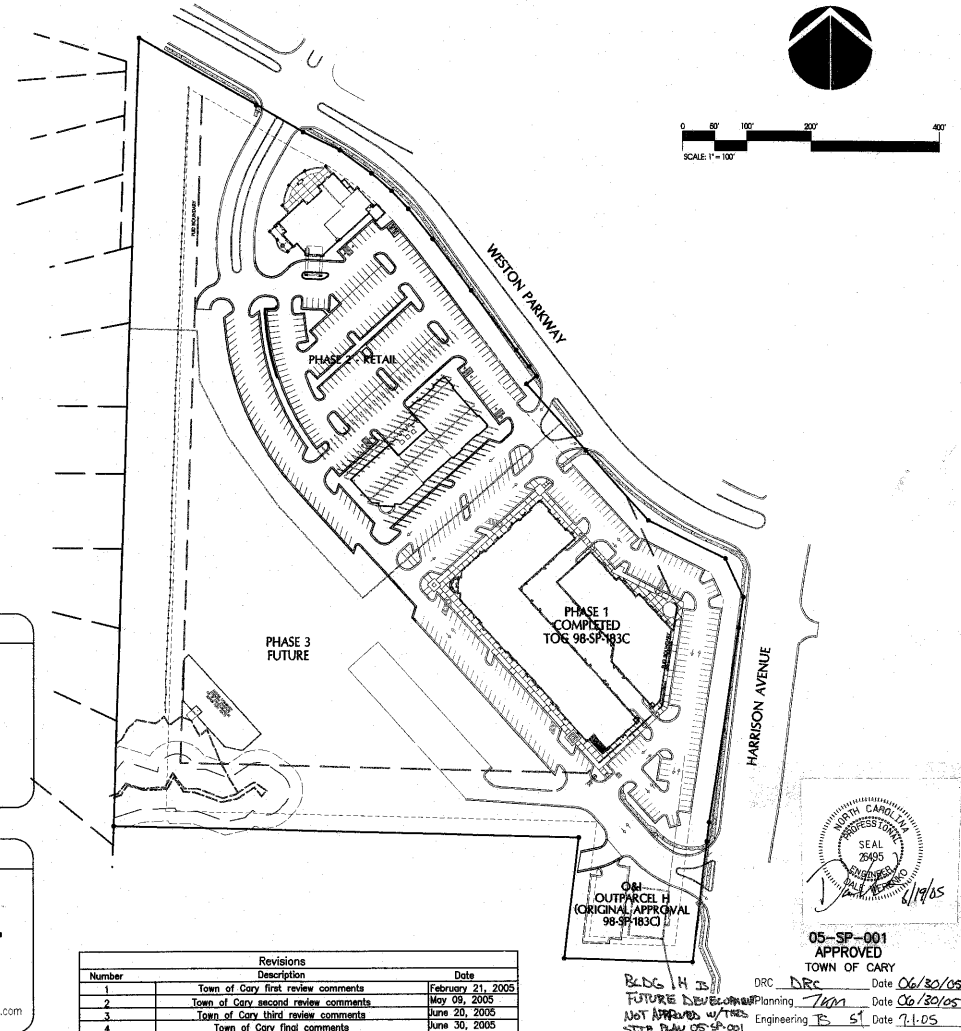
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SITework CONSTRUCTION PLANS FOR THE ARBORETUM PHASE 2 Town of Cary, North Carolina

CARY PROJECT NO. 05 - SP - 001

ORIGINAL TOWN OF CARY APPROVAL # 98-SP-183C



05-SP-001
APPROVED
TOWN OF CARY

Number	Revisions	Date
1	Town of Cary first review comments	February 21, 2005
2	Town of Cary second review comments	May 09, 2005
3	Town of Cary third review comments	June 20, 2005
4	Town of Cary final comments	June 30, 2005

BDDG H IS
DRC Date 06/30/05
FUTURE DEVELOPMENT Planning Date 06/30/05
NOT APPROVED w/ THE Engineering B S Date 7.1.05
SITE PLAN 05-SP-001