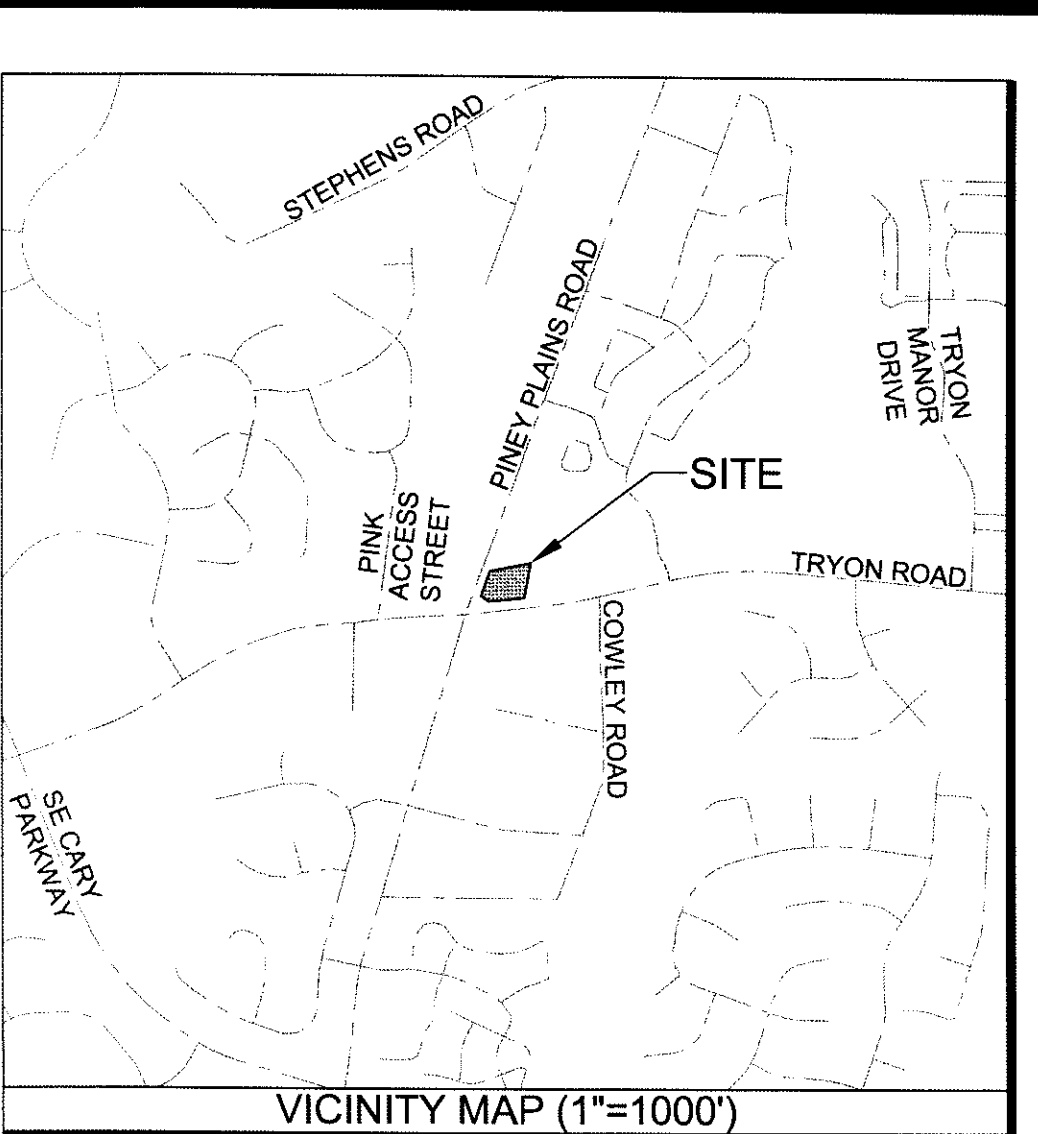
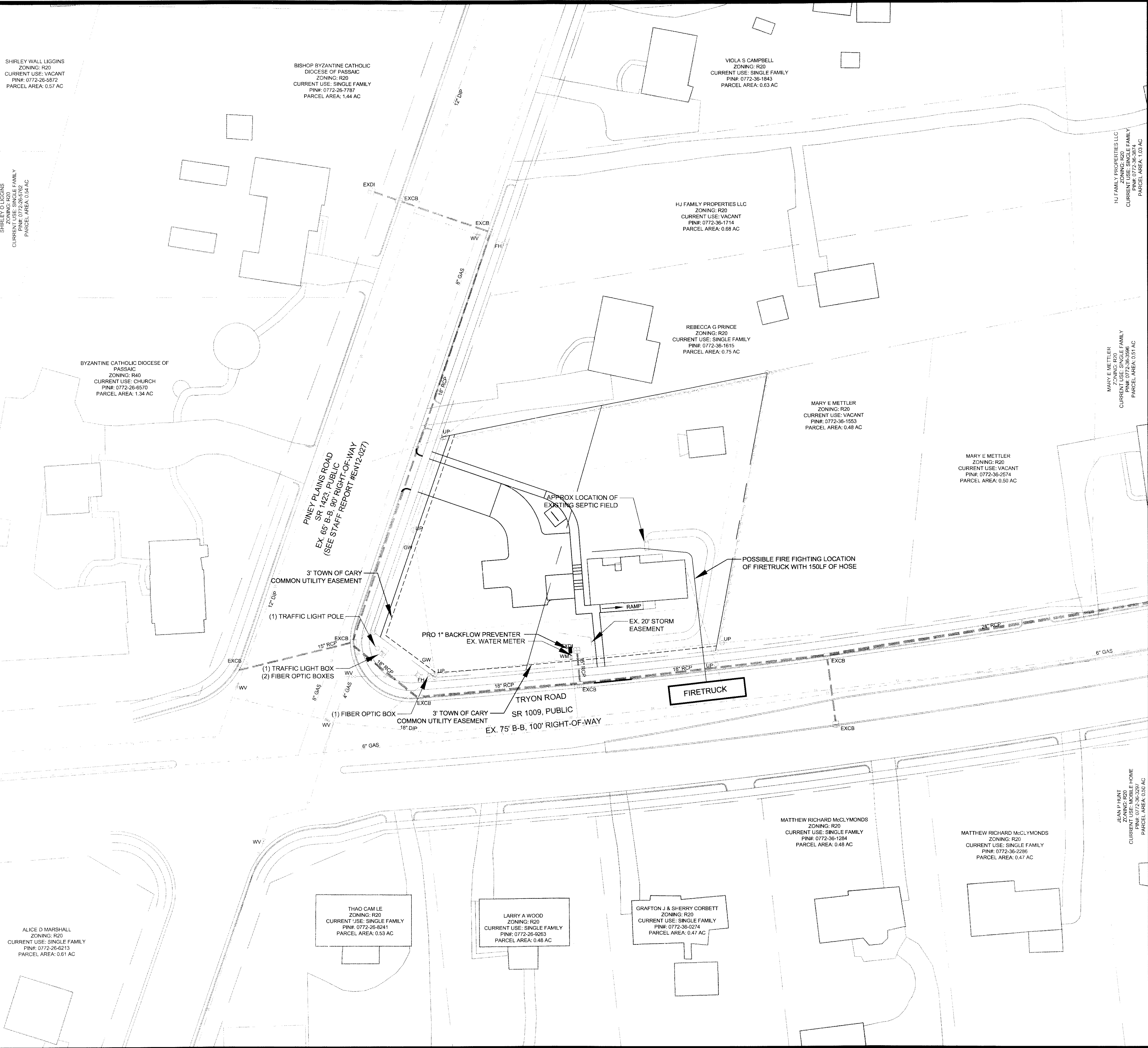


E:\701 - 750 Projects\723-11 Pinney Plains Property\723-11_03201.dwg, Nov 07, 2011, 3:50pm, B.V. Brion



- ### GENERAL NOTES
1. SITE BOUNDARIES, SITE BUILDINGS, AND SITE UTILITIES PROVIDED BY TURNING POINT SURVEYING, PLLC ON MARCH 31, 2011.
 2. ADJACENT PROPERTY CADASTRAL, ROW, TOPOGRAPHIC, AND HYDROLOGIC DATA DOWNLOADED FROM WAKE COUNTY GIS ON MAY 3, 2011.
 3. STREET CENTERLINES, WATER, SEWER, AND IMPERVIOUS SURFACE DATA DOWNLOADED FROM TOWN OF CARY FTP ON MAY 3, 2011.
 4. STREET DATA, SIDEWALK, STORM, AND EASEMENT DATA PROVIDED BY KIMLEY-HORN AND ASSOCIATES ON JUNE 2, 2011.
 5. THE PROPOSED USE WILL BE REQUIRED TO CONNECT TO SANITARY SEWER SERVICE IF SUCH SERVICE BECOMES AVAILABLE WITHIN 300 FEET OF THE SUBJECT PROPERTIES.
 6. THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.
 7. ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
 8. ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
 9. ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.

PREPARED FOR: BARBER PROPERTY
 BE ALL YOU CAN BE INC.
 6244 TRYON ROAD, CARY, NC 27518
 DATE: 05-03-2011
 SKAN FIRM CERTIFICATION #: C-1875
 PROJECT ENGINEER: TOM J. SPAULDING, PE
 PROJECT CAD DESIGNER: BRIAN W. DOWNS
 PROJECT SURVEYOR: TURNING POINT SURVEYING, PLLC

FOR REVIEW ONLY - NOT FOR CONSTRUCTION
 PLAN IS SUBJECT TO REVISIONS DURING THE PRELIMINARY APPROVAL PROCESS

GRAPHIC SCALE
 (IN FEET)
 1 inch = 30 ft.

11-SP-030
 HTE # 11-1096
 APPROVED BY THE TOWN OF CARY DEVELOPMENT REVIEW COMMITTEE
 PLANNER: [Signature] DATE: 11/17/2011

NO.	REVISION	DATE
1.	PER CARY COMMENTS	09/05/11
2.	PER CARY COMMENTS	09/27/11
3.	PER CARY COMMENTS	11/07/11

SEAL: [Professional Seal]
SPAULDING & NORRIS, PA
 Design Consultants
 972 Trinity Road
 Raleigh, North Carolina 27607
 Phone (919) 854-7990 Fax (919) 854-7925

BARBER PROPERTY
 6244 TRYON ROAD, CARY, NC 27518
 TOWN OF CARY, WAKE COUNTY, NORTH CAROLINA

**SITE PLAN
 UTILITY PLAN**
 SHEET 3 OF 11

DRAWING SHEET
C-3.1
 PROJECT NUMBER
723-11