

NOTES:

- 1) TOTAL DRAINAGE AREA FLOWING TO SILT FENCE MAY NOT EXCEED 1 ACRE.
- 2) SILT FENCES SHOULD NOT BE USED AT PIPE OUTLETS OR IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHES, SWALES, ETC.)

TO INCREASE STORAGE CAPACITY AND PROLONG THE LIFE OF THE SILT FENCE, IT IS GENERALLY ADVISABLE TO DIG A SEDIMENT PIT IN FRONT OF YOUR SILT FENCE WHENEVER POSSIBLE.

SITE DATA

ZONING = INDUSTRIAL PERFORMANCE
 TOTAL AREA = 1.03 ACRES
 DENUDED AREA = 0.98 ACRES
 PROPOSED IMPERVIOUS AREA = 29,937 SQ. FT.
 PARKING REQUIRED - ONE PER EMPLOYEE
 PARKING PROPOSED - 15 SPACES
 PROPOSED LANDSCAPED AREA - 5200 SQ. FT.
 PROPOSED ROAD LINEAR FOOTAGE - 195' OF GRAVELED PRIVATE DR.
 VEHICULAR USE AREA - 3000 SQ. FT.
 OWNER - TOM BRINLEY

- CONSTRUCTION SEQUENCE**
1. Obtain Grading Permit.
 2. Install all erosion control measures as shown.
 3. Obtain Certificate of Compliance through on-site inspection by Town Erosion Control Engineer.
 4. Proceed with grading.
 5. Clean sediment basins when half full.
 6. Seed and mulch denuded area within 30 days after finished grades are established.
 7. Maintain soil erosion control measures until permanent ground cover is established.
 8. Request Final Approval by Town Erosion Control Engineer.
 9. Remove Soil Erosion Control Measures and Stabilize these areas.

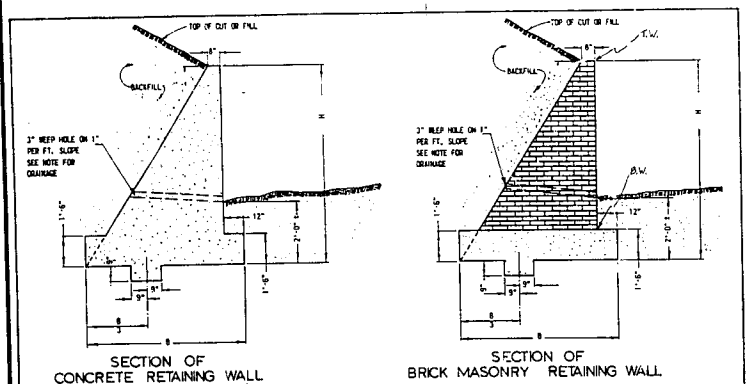
- NOTES:**
1. ALL CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
 2. FEMA INDICATES NO 100 YR FLOOD PLAIN ON SITE.
 3. STABILIZE 2:1 SLOPES WITH VEGETATIVE MATTING PER TOWN OF CARY INSTRUCTIONS & APPROVAL. SEE LANDSCAPING PLAN.

LOT 31 & REMAINDER OF LOT 30
 G.S. DIXON PROPERTY VACANT
 LAND USE - CLASS 1 (HOUSE FRONT OF WOOD ST.)
 NO STRUCTURES WITHIN 100 FT. OF PROPOSED CONSTRUCTION

T.O.C. REV. SITE PLAN APPROVED
 PKZ 8/21/89
 T.C. 9/14/89
 RB

- *LANDSCAPE PLAN TO BE REVISED TO PROVIDE EVERGREEN SCREENING, SUCH AS WAX MYRTLE OR PLANTING, ALONG THE EXTERIOR SIDE OF THE FENCING, FOR THE LENGTH OF FENCING PROPOSED
- PLAN APPROVED WITH FOLLOWING BUFFER REDUCTIONS:
- EAST SIDE: 30' B TO 30' B
 - SOUTH SIDE: 65' B TO 30' B
 - WEST SIDE: 10' B TO 5' B
- OWNER MUST IMPROVE 1/2 OF DIXON STREET TO A 27' BACK TO BACK ROADWAY SECTION.
- RB

"ORIGINAL FILE COPY"



GENERAL NOTES:

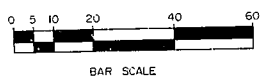
LOCATIONS AND QUANTITIES OTHER ARE APPROXIMATE ONLY.
 EXACT LOCATIONS AND QUANTITIES SHALL BE DETERMINED BY THE ENGINEER IN THE FIELD.
 ELEVATION OF BOTTOM OF FOOTING, WIDTH OF BASE, AND HEIGHT OF WALL TO BE DETERMINED BY THE ENGINEER.
 NO WORKING SHALL BE LAID OUT UNTIL THE DEPTH AND CHARACTER OF THE FOUNDATION HAVE BEEN INSPECTED AND APPROVED BY THE ENGINEER.

REBAR SHALL BE PLACED AT ABOUT 12" INTERVALS JUST ABOVE THE SURFACE OF THE EXISTING GRADE.

A STONE COURSE CONSISTING OF 1 TON/CUBIC FOOT OF NUMBER TEN STONE CONTAINED IN A BAG OF PERIODIC FABRIC SHALL BE PLACED AT EACH REBAR HOLE. SUBSEQUENT FINE AGGREGATE SHALL BE PLACED IMMEDIATELY, INCLUDING AND OVER THE STONE COURSE SO THAT THE STONE COURSE IS COVERED BY A LAYER OF SUBSEQUENT FINE AGGREGATE AT LEAST 1 FOOT THICK. A HORIZONTAL COURSE OF SUBSEQUENT FINE AGGREGATE AT LEAST 1 FOOT SQUARE IN CROSS SECTION SHALL THEN BE PLACED TO CONNECT ALL STONE COURSES. A VERTICAL COURSE OF SUBSEQUENT FINE AGGREGATE AT LEAST 1 FOOT SQUARE IN CROSS SECTION SHALL BE PLACED AT EACH REBAR HOLE TO AN ELEVATION 2 FEET ABOVE THE SURFACE OF THE FOUNDATION.

CLASS 1 CONCRETE TO BE USED FOR CONCRETE RETAINING WALLS, AND FOOTING FOR BRICK RETAINING WALLS.

CONCRETE RETAINING WALL, 1/2" EMBEDMENT JOINT EVERY 25'



TRACT I
 PROP. OF SAM BURNS
 D.B. 1882 PG 569
 LAND USE - CLASS 1
 ONLY A SHED ON THIS PROPERTY IS WITHIN 100 FT. OF PROPOSED CONSTRUCTION.

LOT 1
 DIXON SUBDV
 B.O.M. 1946, PG 122
 LAND USE - CLASS 1
 NO STRUCTURES WITHIN 100 FT. OF PROPOSED CONSTRUCTION

DATE	3-16-89	PROPERTY OF	TOM BRINLEY
SCALE	1"=20'	CARY	WAKE CO.
DRAWN BY	M.T.B.		
CHECKED BY	G.D.W.	ENGINEERS & LAND SURVEYORS	GLENN D. WARD & ASSOCIATES
FIELD BOOK	117, 145	7404-M CHAPEL HILL RD. RALEIGH, N.C.	PHONE: 851-5335