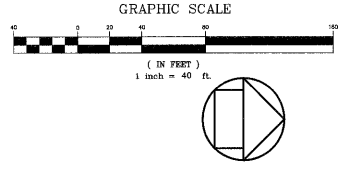
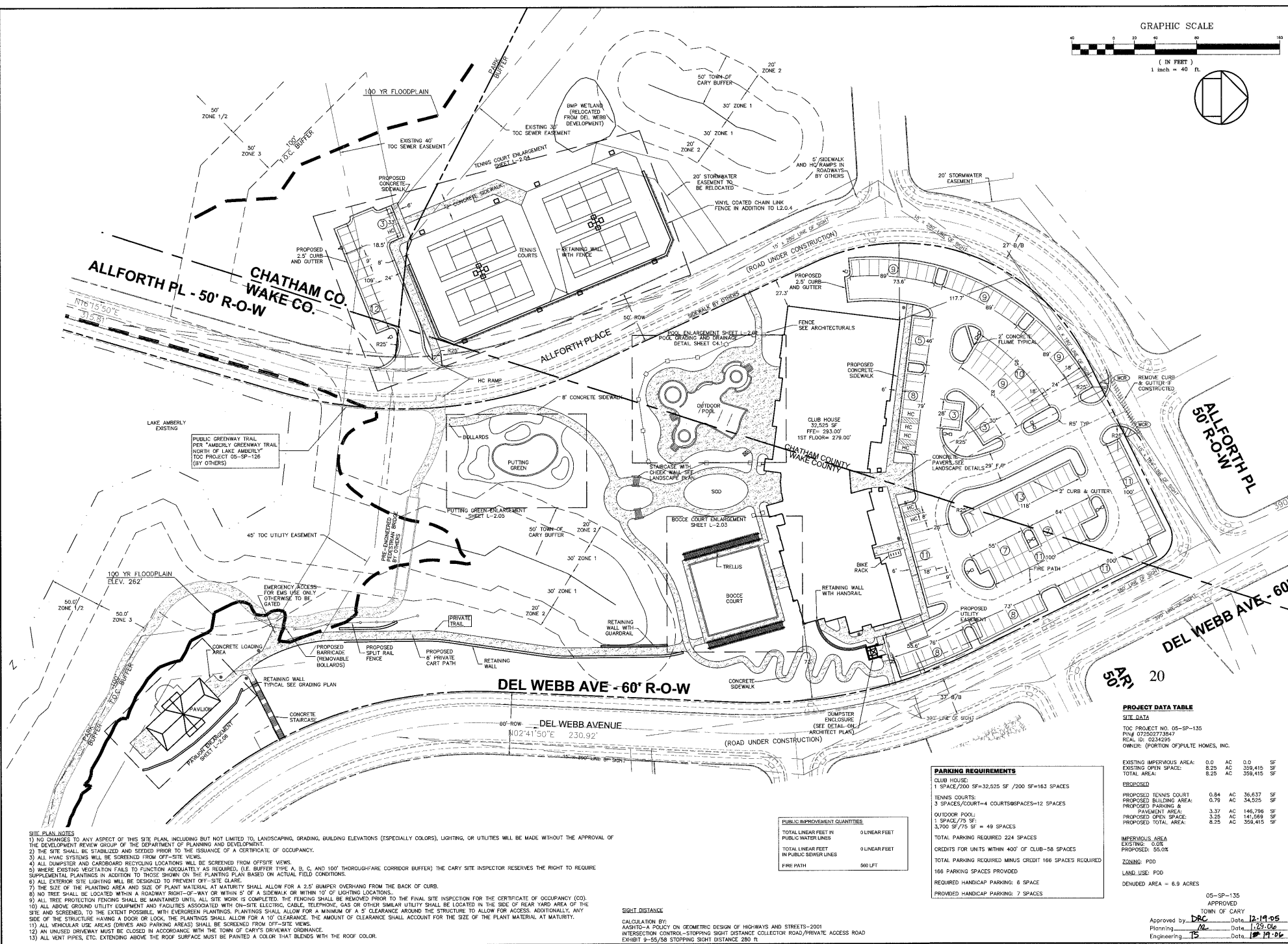


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- SITE PLAN NOTES**
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT.
 - THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL HVAC SYSTEMS WILL BE SPOREKED FROM OFF-SITE VENTS.
 - ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VENTS.
 - WHERE EXISTING VEGETATION FALLS TO FUNCTION ADEQUATELY AS REQUIRED, (I.E. BUFFER TYPE A, B, C, AND 100' THROUGH-PART CORRIDOR BUFFER) THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REMOVE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
 - ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
 - THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2' BUMPER OVERHANG FROM THE BACK OF CURB.
 - NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT-OF-WAY OR WITHIN 5' OF A SIDEWALK OR WITHIN 10' OF LIGHTING LOCATIONS.
 - ALL TREE PROTECTION FENCINGS SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
 - ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
 - ALL VEHICULAR USE AREAS (DRIVES AND PARKING AREAS) SHALL BE SPOREKED FROM OFF-SITE VENTS.
 - AN UNUSED DRIVEWAY MUST BE CLOSED IN ACCORDANCE WITH THE TOWN OF CARY'S DRIVEWAY ORDINANCE.
 - ALL VENT PIPES, ETC. EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR.

PUBLIC IMPROVEMENT QUANTITIES

TOTAL LINEAR FEET IN PUBLIC WATER LINES	0 LINEAR FEET
TOTAL LINEAR FEET IN PUBLIC SEWER LINES	0 LINEAR FEET
FIRE PATH	860 LFT

PARKING REQUIREMENTS

CLUB HOUSE
 1 SPACE/200 SF = 32,525 SF / 200 SF = 163 SPACES

TENNIS COURTS:
 3 SPACES/COURT = 4 COURTS * 8 SPACES = 32 SPACES

OUTDOOR POOL:
 1 SPACE/75 SF = 3,700 SF / 75 SF = 49 SPACES

TOTAL PARKING REQUIRED 224 SPACES

CREDITS FOR UNITS WITHIN 400' OF CLUB = 58 SPACES

TOTAL PARKING REQUIRED MINUS CREDIT 166 SPACES REQUIRED

166 PARKING SPACES PROVIDED

REQUIRED HANDICAP PARKING: 6 SPACES

PROVIDED HANDICAP PARKING: 7 SPACES

PROJECT DATA TABLE

EXISTING IMPERVIOUS AREA: 0.0 AC 0.0 SF
EXISTING OPEN SPACE: 8.25 AC 359,415 SF
TOTAL AREA: 8.25 AC 359,415 SF

PROPOSED

PROPOSED TENNIS COURT: 0.84 AC 36,637 SF
 PROPOSED BILLING AREA: 0.79 AC 34,305 SF
 PROPOSED PARKING & PAVEMENT AREA: 3.37 AC 146,796 SF
 PROPOSED OPEN SPACE: 3.25 AC 141,569 SF
 PROPOSED TOTAL AREA: 8.25 AC 359,415 SF

IMPERVIOUS AREA
 EXISTING: 0.0 AC
 PROPOSED: 55.0%

LAND USE: P00
 DEDICATED AREA = 6.9 ACRES

05-SP-135 APPROVED
 TOWN OF CARY
 Approved by: *DRC* Date: 12-14-05
 Prepared by: *DL* Date: 1-25-06
 Engineering: *DL* Date: 1-19-06

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AMBERLY AR RECREATION CENTER
 CARY, NORTH CAROLINA
 PLUTE HUNTERS
 801 Corporate Center Drive
 Raleigh, NC 27607

PROJECT #: 05-4029 DATE: 1/10/06

DRAWN BY: CD CHECKED BY: ET

TITLE

SITE PLAN

SHEET

C1.0

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