

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CARY AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLANS.
- STREAM BUFFERS AND WETLAND AREAS WERE DELINEATED BY S&C, INC AND MAPPED BY KENNETH CLOSE, INC, "WETLAND DELINEATION MAP FOR AMBERLY PUD", DATED 7/28/02, REVISED 1/18/02. THE DELINEATION MAP HAS BEEN APPROVED BY THE US ARMY CORPS OF ENGINEERS AND INCLUDES RIPARIAN BUFFERS CONFIRMED BY THE TOWN OF CARY.
- TOPOGRAPHIC INFORMATION FOR THE AMBERLY ROAD INFRASTRUCTURE ARE FROM FIELD SURVEY BY CHAS H SELLS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF MUTCD.
- THE CONTRACTOR, TO THE MAXIMUM EXTENT POSSIBLE, SHALL NOT REMOVE LARGE SPECIMEN TREES AT THE EDGES OF THE EASEMENTS, AND MINIMIZE DAMAGES TO TREES AT THE EDGES OF THE CONSTRUCTION CORRIDOR.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL/DEMOLITION OF ALL EXISTING BUILDINGS, FOUNDATIONS, FENCE, DRAINAGE PIPING WITHIN THE REQUIRED CLEARING LIMITS, UNLESS NOTIFIED BY OWNER OR ENGINEER. DISPOSE ALL CONSTRUCTION DEMOLITION DEBRIS IN APPROVED LANDFILL.
- ALL REINFORCED CONCRETE STORMWATER PIPING SHALL BE CLASS III WITH PREFORMED GASKET UNLESS OTHERWISE SPECIFIED.
- ALL STORM DRAIN FRAMES AND GRATES SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH TOWN OF CARY STANDARDS.
- NO TREE SHALL BE PLANTED WITHIN PUBLIC RIGHTS-OF-WAY OR WITHIN FIVE(5) FEET OF A PUBLIC SIDEWALK OR STREET CURB.
- LANDSCAPE MAINTENANCE WITHIN STREETS RIGHTS-OF-WAY, INCLUDING MEDIANS AND ISLANDS, SHALL BE THE RESPONSIBILITY OF PROPERTY OWNERS, PROPERTY ASSOCIATIONS OR THEIR ASSIGNEES IN PERTUITY.
- SIGNAGE IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED AS A PART OF THIS DEVELOPMENT PLAN. IF YOU ARE REQUIRED TO SUBMIT A UNIFORM SIGN PLAN, YOU MUST SUBMIT AND OBTAIN APPROVAL OF A UNIFORM SIGN PLAN PRIOR TO THE RELEASE OF PLATS FOR THE RECORDING OF LOTS (IF APPLICABLE). PLATS TO RECORD LOTS CANNOT BE APPROVED UNTIL THE UNIFORM SIGN PLAN HAS BEEN APPROVED.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, (I.E. BUFFER TYPE A, B, C, AND 100' THOROUGHFARE CORRIDOR BUFFER) THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS;
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- PAVEMENT DESIGN WILL BE ENGINEERED IF TRIASSIC SOIL IS ENCOUNTERED.
- CURB CUT BEHIND LOTS 17 & 18 WILL BE CLOSED AND CURB AND GUTTER WILL BE INSTALLED PRIOR TO ANY LOTS (1-25) RECEIVING A C.O.
- ONLY 100 UNITS CAN BE CO'D UNTIL A SECOND ACCESS IS PROVIDED TO THE DEVELOPMENT.**
- IF STREET LIGHTS(S) ARE NEEDED ON THE DAM, APPROPRIATE MEASURES MUST BE TAKEN IN THE FIELD BY THE DEVELOPER TO ENSURE ENOUGH ROOM FOR PROPER PLACEMENT OF THE LIGHT POLE.

CLEARING:
CLEARING ON THIS PROJECT SHALL BE PERFORMED TO THE LIMITS ESTABLISHED BY METHOD II.

BERM DITCHES:
BERM DITCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. NO. 240.01 AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

STREET RETURNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. NO. 848.04 USING THE RADII NOTED ON PLANS.

WHEELCHAIR RAMPS:
WHEELCHAIR RAMPS ARE SHOWN ON THE PLANS AT APPROXIMATE LOCATIONS. THE CONSTRUCTION OF ALL WHEELCHAIR RAMPS SHALL BE IN ACCORDANCE WITH STD. NO. 848.05.

PROJECT DATA TABLE

All Roads	Phase 1A: 25.3 Acres	Phase 1C: 8.6 Acres	Phase 1E: 11.9 Acres	Phase 1G: 9.4 Acres
Disturbed Area: 84.19 acres	Roadways: 4586 LF	Roadways: 1781 LF	Roadways: 1966 LF	Roadways: 1484 LF
Roadways: 16,055 LF	Sidewalk: 7556 LF	Sidewalk: 3383 LF	Sidewalk: 3784 LF	Sidewalk: 990 LF
Sidewalk: 28,985 LF	Water Line 4-inch: 487 LF	Water Line 6-inch: 302 LF	Water Line 6-inch: 746 LF	Water Line 4-inch: 573 LF
Water Line 4-inch: 1,556 LF	Water Line 6-inch: 93 LF	Water Line 8-inch: 1494 LF	Water Line 8-inch: 1178 LF	Water Line 6-inch: 183 LF
Water Line 6-inch: 1,751 LF	Water Line 8-inch: 864 LF	Sanitary Sewer 8-inch: 1645 LF	Sanitary Sewer 8-inch: 1844 LF	Water Line 8-inch: 805 LF
Water Line 8-inch: 7,935 LF	Water Line 12-inch: 2971 LF	Off-road S.Sewer 8-inch: 193 LF	49 LOTS	Sanitary Sewer 8-inch: 1630 LF
Water Line 12-inch: 2,724 LF	Off-road water line 12-inch: 280 LF	40 LOTS	Phase 1F: 11.7 Acres	Off-road S.Sewer 8-inch: 241 LF
Sanitary Sewer 8-inch: 11,033 LF	Sanitary Sewer 8-inch: 2886 LF	Phase 1D: 8.0 Acres	Roadways: 1811 LF	
	Off-road S.Sewer 8-inch: 880 LF	Roadways: 1655 LF	Sidewalk: 1878 LF	
	30 LOTS	Sidewalk: 3151 LF	Water Line 4-inch: 953 LF	
264 LOTS Buildout For Phase 1	Phase 1B: 9.1 Acres	Water Line 6-inch: 467 LF	Water Line 6-inch: 1004 LF	
	Roadways: 2754 LF	Water Line 8-inch: 428 LF	Sanitary Sewer 8-inch: 2074 LF	
	Sidewalk: 2895 LF	Water Line 12-inch: 762 LF	Off-road Sanitary Sewer 8-inch: 220 LF	
	Water Line 8-inch: 1469 LF	Sanitary Sewer 8-inch: 1088 LF	42 LOTS	
	Water Line 12-inch: 616 LF	37 LOTS		
	Sanitary Sewer 8-inch: 1362 LF			
	Off-road Sanitary Sewer 8-inch: 202 LF			
	23 LOTS			

Note: Adjacent streets must be completed prior to issuance of CO for any lot within the subdivision.

UTILITY NOTES

- DIP WATER MAIN PIPING UP TO 12-INCHES IN DIAMETER SHALL BE CLASS 350, CLASS 250 UP TO 20-INCHES IN DIAMETER, AND CLASS 200 FOR PIPES LARGER THAN 20-INCH DIAMETER. DIP SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C150 AND AWWA C151. FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C153, PIPE JOINTS CONFIRM TO AWWA C111.
- THE TOPS OF ALL AIR RELEASE MANHOLES FOR THE WATER LINE SHALL BE INSTALLED TO 1 FT ABOVE FINISHED GRADE AT LOCATIONS OUTSIDE THE SIDEWALK AREA. TOPS OF AIR RELEASE MANHOLES LOCATED IN THE SIDEWALK AREA SHALL BE INSTALLED AT FINISHED GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES AND REPORT CONFLICTS TO ENGINEER BEFORE CONSTRUCTION. CALL THE NC ONE CALL CENTER AT 1-800-632-4949.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL EXISTING PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- MINIMUM UTILITY SEPARATIONS:
18" VERTICAL CLEARANCE FROM TOP OF GRAVITY SEWER TO BOTTOM OF EXISTING WATERLINES
12" VERTICAL CLEARANCE FROM TOP OF GRAVITY SEWER TO BOTTOM OF EXISTING STORM DRAINAGE
MINIMUM 10' HORIZONTAL SEPARATION BETWEEN GRAVITY AND EXISTING UTILITIES
- ALL CONTRACTORS TO COORDINATE ALL CONSTRUCTION ACTIVITIES AND UTILITY RELOCATION/INSTALLATION WITH UTILITY OWNERS.
- ALL PRIVATE UTILITIES (TELEPHONE, CABLE, GAS, POWER) TO BE INSTALLED BETWEEN BACK OF CURB AND RIGHT-OF-WAY LINE.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL BE CONTACT PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.
- ALL UTILITY CASTINGS TO HAVE THE TOWN OF CARY EMBLEM CASTED ON LID.

SAFETY PROVISIONS:

- THE CONTRACTOR SHALL COMPLY WITH "NORTH CAROLINA OCCUPATIONAL SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY", 29 CFR PART 1926 AND PART 1910. PARTICULAR REFERENCE IS MADE BUT NOT LIMITED TO SUBPART P - EXCAVATIONS.
- SLOPING, BENCHING, OR TRENCH WALL SUPPORTS FOR EXCAVATIONS GREATER THAN 20-FEET IN DEPTH SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

Property Data

Property Owner: Sandler at Amberly
448 Viking Drive, Suite 220,
Virginia Beach, VA 23452

ZONING: AMBERLY PDD
Wake County
PIN: 072502679303
Deed Book: 9012 Page 786
Chatham County
PIN: 0725472993

Deed Book: 882 Page 962
Proposed Density (AR) 3.33 DU / Acre - 239 Units
Allowed Density (AR) 25 DU / Acre - 1,350 Units Max.
Proposed Density MF-2 1.3 DU/ Acre -25 Units
Allowed Density MF-2 16 DU/ Acre (Max) - 1,720 Max

Project is located in Cape Fear River Basin
Jordan Lake Watershed

AR Phase 1 Area 69 Acres
MF-2 Area 20 Acres
AR Rec Center 8 Acres
MF Lake 15 Acres
Min. Front Setback - 18'
Min. Side Setback - 6' Aggregate with no minimum
Min. Rear Setback - 8'
Corner Side Setback - 8'
Min. Lot Width Required - 36'
Min. Lot Size - 4100 SF
Average Lot Size - 5100 SF

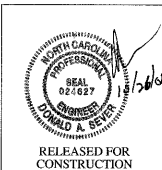
SOLID WASTE COLLECTION CONTAINER

All dwelling units shall be provided with Town of Cary Standard roll out solid waste collection container.

	Length	Sewerline	Sidewalk	8in Waterline	4in Waterline	6in Waterline	12in Waterline
Del Webb Ave (Phase 1A)	2175	1191	3974	0	0	93	2154
Allforth Pl (Phase 1A)	1560	977	1983	50	487	0	537
Allforth Pl (Phase 1B)	422	0	733	401	0	0	0
Allforth Pl (Phase 1D)	414	0	754	428	0	0	0
Allforth Pl (Phase 1E)	900	883	1726	870	0	0	0
Allforth Pl (Phase F)	346	384	265	129	265	0	0
Arvind Oaks Circle (Phase 1A)	851	718	1599	814	0	0	0
Birstall Dr (Phase 1B)	134	130	230	0	0	0	143
Birstall Dr (Phase 1D)	606	517	1151	0	0	467	127
Chaumont Dr (Phase 1B)	1195	0	0	0	0	0	473
Chaumont Dr (Phase 1D)	635	571	1246	0	0	0	635
Aylestone Dr (Phase C)	296	225	555	0	0	302	0
Aylestone Dr (Phase E)	751	693	1465	0	0	746	0
Repton Ct (Phase 1F)	399	394	0	0	450	0	0
Endhaven Pl. (Phase 1G)	1289	1173	990	805	0	183	0
Ventor Pl (Phase 1B)	1003	1030	1932	1068	0	0	0
Ventor Pl (Phase 1C)	940	744	1775	936	0	0	0
Ventor Pl (Phase 1F)	195	209	25	0	238	0	0
Arbor Brook Drive (Phase 1F)	871	867	1588	875	0	0	0
Garendon Dr (Phase 1C)	545	483	1053	558	0	0	0
Garendon Dr (Phase 1E)	315	268	593	308	0	0	0
Brookesby Ct (Phase 1G)	215	215	0	0	0	0	0

Approved by DRC Date 10.3.05
Planning [Signature] Date 11.1.05
Engineering [Signature] Date 10.21.05

CHAS. H. SELLS, INC.
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Carolina Preserve by
Del Webb at Amberly
Phase 1
Cary, NC
GS Carolina
3412 1/2 Hillsborough St.
Raleigh, NC 27607

REVISIONS

NO.	ADDED PHASE LINES 8-15-05
1	

PROJECT #: 04-006 DATE: 6/25/05
DRAWN BY: JE CHECKED BY: DS

TITLE
GENERAL NOTES SHEET 1 OF 2

SHEET
C0.1.1