

NEIGHBORHOOD HOUSE TYPE 3
FRONT LOADED

NEIGHBORHOOD HOUSE--TYPE THREE

Parcel G

BUILDING PLACEMENT

- Building placement as shown.
- Corner lots shall be 95' wide, and house shall be set back a minimum of 15' from side street.
- Side yards shall be 15' aggregate, with a 5' minimum.
- Rear setback for houses shall be a minimum of 20' from rear lot line, or, when alleys are present, 20' from edge of alley pavement.
- Front setback shall be a minimum of 25'.
- Detached, alley-loaded garages are permitted. Side entries to the detached garages are permitted.
- Detached garages shall be set back a minimum of 6' from edge of alley pavement.
- Detached garages shall be constructed of the same materials and colors as the main building.
- Trash containers shall be located at the rear of the building.
- Garden walls or picket fences may be built where indicated. 3' minimum height required for all fences and walls. Fences/walls facing front street shall be 42" maximum height, except for fence posts or decorative finials, which may not exceed 48" in height. All other fences/walls shall be 6' maximum height.
- Covered walk from house to detached garage is permitted (6' maximum width).

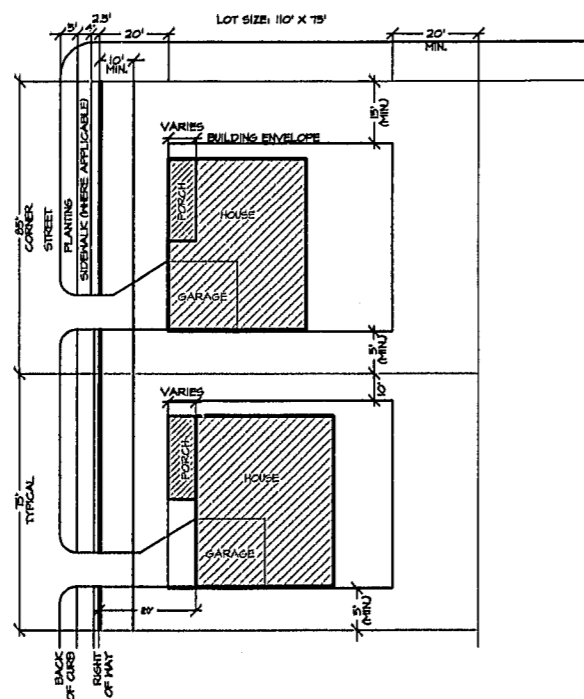
BUILDING HEIGHTS

House: 2 1/2 floors maximum, exclusive of basement.
Detached garages: Two floors maximum

OUTBUILDING USES

- Garage
 - Workshop
 - Guest cottage
 - Studio
 - Storage
- All other uses must be approved by the Homeowners Association.

No use will be permitted for any outbuilding that would conflict with Town Code regarding Home Occupations.



NEIGHBORHOOD HOUSE TYPE 2
FRONT LOADED GARAGE

NEIGHBORHOOD HOUSE--TYPE TWO

Parcels B, F, and H

- Face of front-loaded garage shall be set back 20' from right of way.
- Building placement as shown.
- Corner lots shall be 85' wide, and house shall be set back a minimum of 15' from side street.
- 10' minimum front setback from right of way.
- Aggregate side yards shall total 15', with a minimum dimension of 5'.
- Houses, excepting garages, shall be set back a minimum of 20' from rear property line.
- Detached, alley-loaded garages are optional. Garage face shall be set back a minimum of 6' from alley pavement.
- Garages may have side entry.
- Detached garages, not alley-loaded, may be located to the rear of the lot 4' from any property line.
- Detached garages shall be constructed of the same materials and colors as the main building.
- Garages may be single or double.
- Trash containers shall be located in the rear of building.
- Garden walls or picket fences may be built where indicated. 3' minimum height required for all fences and walls. Fences/walls facing front street shall be 42" maximum height, except for fence posts or decorative finials, which may not exceed 48" in height. All other fences/walls shall be 6' maximum height.
- Covered walk from house to detached garage is permitted (6' maximum width).

BUILDING HEIGHTS

House: 2 1/2 floors maximum, exclusive of basement.
Detached garage: Two floors maximum.

BUILDING USE:

Buildings may be used for residences only.

OUTBUILDING USES

- Garage
 - Workshop
 - Guest cottage
 - Studio
 - Storage
- All other uses must be approved by the Homeowners Association.

No use will be permitted for any outbuilding that would conflict with Town Code regarding Home Occupations.

GENERAL NOTES

- Nothing in these regulations shall prohibit on-street parking on all residential streets.
- Parking is prohibited in alleys.
- Alleys shall be maintained by a Homeowner's Association.
- No residential entrance walk shall exceed 6' in width.
- Asphalt walks are not permitted, except for greenway paths.
- Sidewalks along public streets may be 4' minimum width where sidewalks are provided on both sides of the street.

NOTES FOR ALL RESIDENTIAL LOTS:

- All residential lot width dimensions will be taken at building setback lines.
- Lots adjacent to common open space shall meet typical lot dimensions rather than corner lot dimensions.

CARPENTER VILLAGE FENCING GUIDELINES AND REQUIREMENTS

VILLAGE CHARLESTON: Must have front yard Decorative and rear access Privacy fencing.

VILLAGE NEIGHBORHOOD: Must have rear access Privacy fencing.

MATERIALS: BRICK, STONE, VINYL & WOOD

STYLE: The Attached Styles are guidelines which may be altered, subject to architectural approval. Approval will be based on all the "requirements", how the fencing complements the previously approved architecture of the surrounding houses and the neighborhood as a whole.

HEIGHT: Decorative Fence: 36" to 42"
Privacy Fence: 4' to 6'

PLACEMENT: Decorative Fence: 2 feet behind sidewalk or off side yards of homes contingent on architectural approval. In no case will fence obscure T.O.C. standards for sight distances.

Privacy Fence: 4 feet from rear lot line (6' from pavement). Individual limitations will be set by the architectural committee for Privacy Fence distances that cross the plan of the rear corner of the house toward the front corner.

COLOR: White

BUFFERING: Some buffering may be required on rear access and side yard fencing. All fences taller than 42" located adjacent to a street right-of-way will have 3 gallon evergreen shrubs planted no more than 10' o.c. (to be planted on street side of fences).

NOTE: All fencing must be approved by the Architectural Committee.

EVERGREEN SHRUBS: 6 PER LOT, MINIMUM 5 GALLON CONTAINER (Typically planted in front of house)

UNDERSTORY TREE: 1 PER LOT, MINIMUM 1 1/2" CALIPER (These understory trees may be placed either in front or back, depending on lot conditions. For lots where significant vegetation has been saved, the developer has the option to omit this tree.)

SOD WILL BE INSTALLED IN ALL FRONT YARDS

Understory tree is defined typically as a tree that grows beneath a forest canopy. For our purposes we define an understory tree as a flowering ornamental tree or an ornamental tree that typically grows no taller than 30'.

ETd

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Proj#: 9904005

Revisions
5/17/99 TOC REV.
6/14/99 TOC 2nd REV
7/12/99 TOC 3RD REV
8/13/99 TOC 4TH REV
10/25/99 TOC 5TH REV



CARPENTER VILLAGE
PORTION OF PARCEL G
CONSTRUCTION PHASE 16
CARY, NORTH CAROLINA

UNIT DETAILS
& NOTES

PHASE 16

Sheet

1B

APPROVED
7/21/99
JFP 11/15/99