

CARY ACADEMY FIELD HOUSE

1610 Charger Lane • Cary, North Carolina

**Cary Academy
Field House**
1610 Charger Lane
Cary, NC

Owner
Cary Academy
1510 N Harrison Avenue Cary, NC
27513
(919) 677-3873

Architect
RATIO Architects, Inc.
135 E. Martin Street
Raleigh, NC 27601
(919) 821-0805

Structural Engineer
LHC Engineers
1015 Wade Avenue
Raleigh, NC 27605
(919) 833-0495

Plumbing, Mechanical, Electrical Engineer
The Wooten Company
120 North Boylan Avenue
Raleigh, NC 27603
(919) 828-0531

Landscape Architect
McNeely Associates PA
5501 McNeely Drive
Raleigh, NC 27612
(919) 782-9677

**SITE PLAN
REVISION TO 06-SP-006
CONSTRUCTION DOCUMENTS**

SHEET ISSUE 3.17.2014

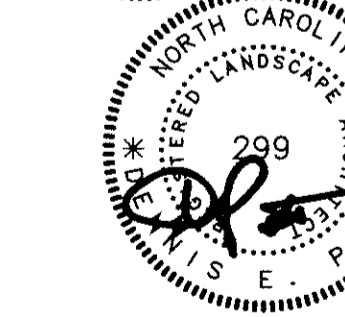
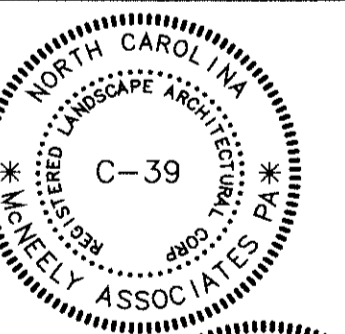
REISSUE

NO.	DESCRIPTION	DATE
1	RESPONSE TO 5.2.14 COMMENTS	5.28.14
2	RESPONSE TO 6.30.14 COMMENTS	7.2.14

CHECKED BY
KMD

APPROVED BY
DEP

PROJECT NO.
13004.000
CARAF



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RATIO
SHEET TITLE
COVER SHEET

SHEET NUMBER

CS

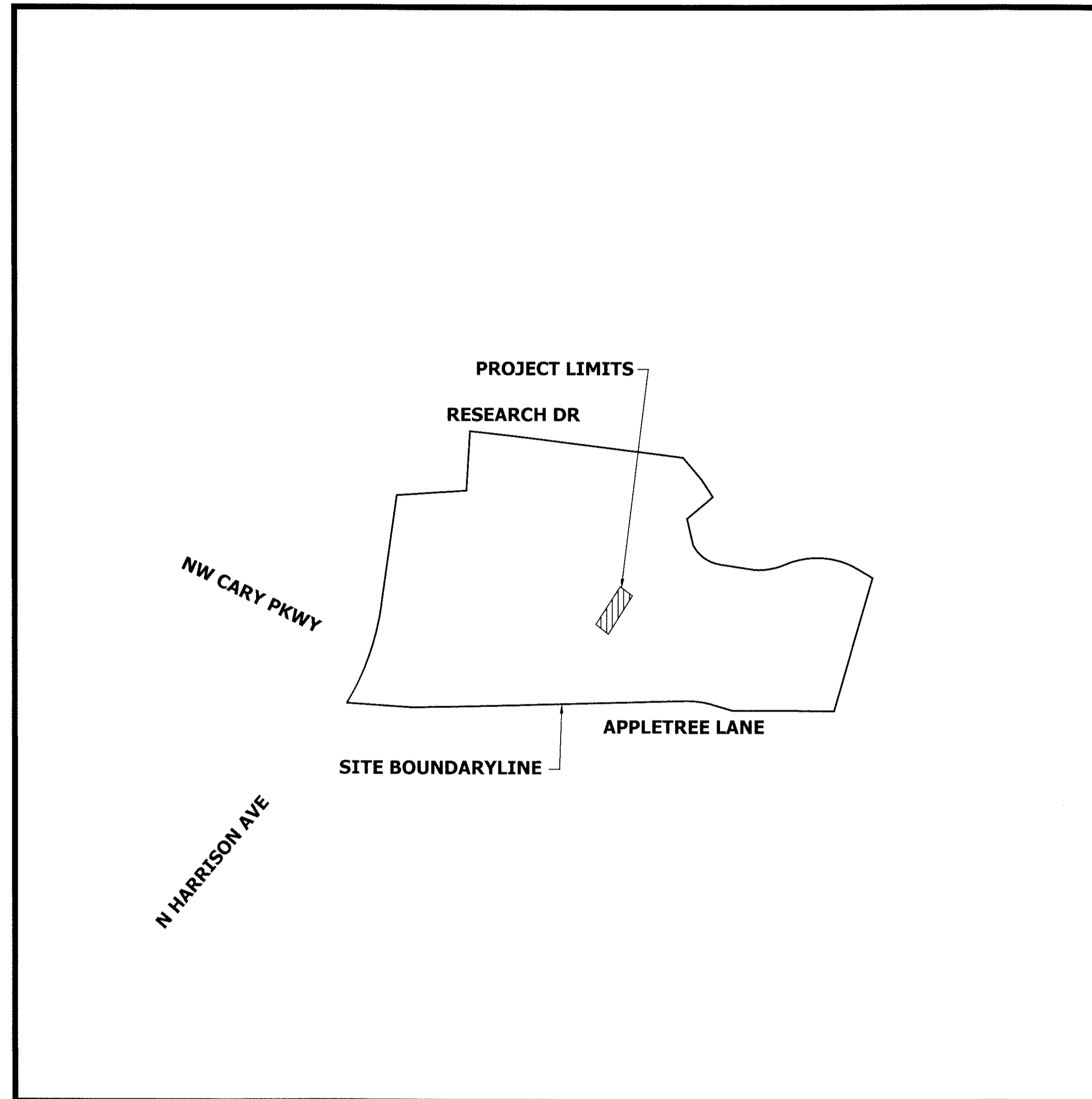
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GENERAL NOTES:

- The field house, bath house and concessions for this site shown, as proposed on these plans, have been previously approved. Refer to Town of Cary #06-SP-006 and prior related plan approvals for reference(s).
- Impervious calculations for these improvements were also included with that previous approval.
- All properties are owned by SAS Institute, Inc., or Cary Academy.

Town of Cary - General Notes:

- No changes to any aspect of this site plan, including but not limited to, landscaping, grading, architectural design (especially colors), lighting, or utilities shall be made without the approval of the Development Review Committee of the Town of Cary.
- Sign permitting is a separate approval process and has not been reviewed or approved with this site plan. A Master Sign Plan shall be approved by the Planning Department prior to issuance of any Certificate of Occupancy (CO) within the Development.
- Unless explicitly specified in the notes on this development plan, this project, including any subsequent development plans, shall comply with the Cary Land Development Ordinance (LDO) and all other applicable regulations and guidelines. In the event of a discrepancy between this approved development plan and the applicable regulations or guidelines, and absent clarification or approval of such stated on this development plan or other related approval, the applicable regulation or guideline shall apply.
- All exterior site lighting will be designed to prevent off-site glare.
- All construction must be performed in accordance with current Town of Cary Standards Specifications and Details. (especially colors).
- The Project will meet all of the requirements relative to Best Management Practices and Engineered Stormwater Control Structures as outlined in the Town of Cary Land Development Ordinance. (Chapter 4, Part 4.5, LDO).
- The site is not located within a flood plain.
- All streets in front of the project will be kept clean at all times or a wash station will be required.
- There are no wetlands on site within the construction limits.
- A grading permit will not be issued until the Town of Cary has received notification from the Ecosystem Enhancement Program or an approved Nutrient Offset Bank that a receipt has been issued to the developer and the local government stating the nitrogen buy down has been completed.
- This project's written request for a variance by The Wooten Company dated April 1, 2014, to requirements of North Carolina Fire Code 503.1.1.1, mandating fire apparatus access within 150 feet of all portions of the proposed facility, has been accepted. In exchange for construction of the compliant fire apparatus access, the Owner is prepared to install complete smoke detection, in accordance with NFPA 72, throughout the new facility. This is in excess of the manual fire alarm and annunciation required for this type of occupancy and construction. The additional smoke detection should provide earlier notification to the Fire Department in the event of a fire, and facilitate a more rapid response.
- Any off-site stockpile areas will be permitted according to proper jurisdiction.
- Utility information from The Wooten Company:
 - 200 LF of 4" sanitary sewer service, 425 LF of 3" water service, 0 LF of reclaimed water line.
 - 1 new sanitary sewer tap, 0 new water service taps, 0 new reclaimed water line taps.
- The following Minor Modification to the Town's development standards have been approved in accordance with Section 3.19 and other applicable sections of the LDO.
 - The building facades have been designed to be as consistent as possible with the Town's architectural standards while maintaining the neo-classical theme established in the existing campus. Individual deviations for specific standards have been described in detail on the applicable overlay sheets.



VICINITY MAP
Scale: 1"=500'

SITE DATA - 1610 CHARGER LANE	
TOWN OF CARY PROJECT NUMBER	14-SP-013
TOTAL AREA	52.18 ACRES
PROJECT AREA (PROPOSED)	±0.29 ACRES
EXISTING USE	SCHOOL
ZONING	R-30P & R-4 with MIXED USE OVERLAY
WAKE COUNTY PIN #	0765-83-7323
WAKE COUNTY REALID	0224351
BUILDING SIZE (1st Floor 4,765 sf, 2nd Floor 921 sf, Press Box 476 sf)	6,162 S.F.
BUILDING HEIGHT	34'-4"
IMPERVIOUS - Field House Previously Approved	5,086 S.F.
IMPERVIOUS - Field House Proposed (New Bldg & Paved Areas)	4,390 S.F.
IMPERVIOUS - Net Total from Approved	-696 S.F.
WATERSHED	CRABTREE CREEK
TOTAL PROJECTED SEWER FLOW (GPD) (per NC Plumbing Code)	68
TOTAL EXISTING BICYCLE PARKING (2 racks @ 26 spaces each)	52
REQUIRED BICYCLE PARKING (1 space per 40 students/employees @ 890 ± 40)	22.5

CARY ACADEMY SITE	
Existing Site	66.65 ac
Existing Impervious	15.25 ac
Proposed Impervious	-0.02 ac
Net New Impervious	15.23 ac
Proposed Disturbed (Denuded) Area	16,000 SF / 0.37 ac

Site Data (Cary Project # 06-SP-006) - APPROVED	
Existing Library/Administration	34,566 SF
Existing Sports and Fitness Center	31,021 SF
Existing Fine Arts	36,366 SF
Existing Middle School	37,920 SF
Existing Upper School	39,272 SF
Existing Student Center	14,896 SF
Existing Athletics/Concessions	2,285 SF
Existing Field House	5,865 SF
TOTAL Existing	202,191 SF
New Field House (Future Previously Approved)	5,086 SF
New Bath/Concessions (Now Existing)	1,583 SF
New Total GSF (including future field house)	208,860 SF
Minimum Building Setbacks:	
From Thoroughfare	50 Feet
From Collector	30 Feet
From Other Streets	20 Feet
Side Yard	15 Feet
Rear Yard	30 Feet

UTILITIES	
New 4" Sanitary Sewer Service	200 LF
New 3" Water Service	425 LF
Reclaimed Water Line	0 LF
New Sanitary Sewer Tap	1 (one)
New Water Service Tap	0 (none)
New Reclaimed Water Tap	0 (none)

Used for This Submittal

14-SP-013
HTE#: N/A
Approved by the Town of Cary
Development Review Committee
Planner *KMD* Date: *01/14/2014*