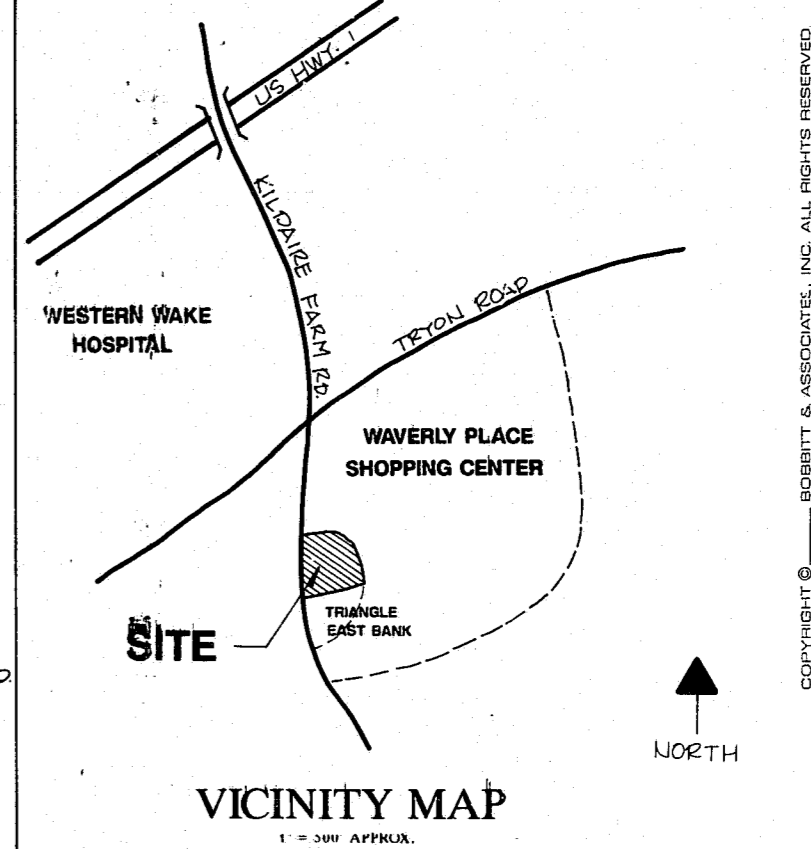


WAVERLY PLACE SHOPPING CENTER
ZONED B-2 CU
LOT 1

CURVE	DELTA ANGLE	RADIUS	ABC	TANGENT	CHORD	CHORD BEARING
C 1	63°56'45"	1063.42'	75.02'	37.53'	75.01'	N 20°13'24"W
C 2	48°25'31"	49.00'	33.41'	17.99'	32.81'	N 25°57'07"E
C 3	17°14'25"	120.00'	38.25'	18.28'	36.11'	N 54°45'56"E
C 4	09°55'51"	161.00'	25.10'	12.57'	25.07'	N 63°00'10"E
C 5	50°40'52"	69.00'	41.45'	33.73'	56.00'	N 87°52'34"E
C 6	47°35'00"	170.00'	141.18'	74.95'	137.16'	S 38°59'32"E

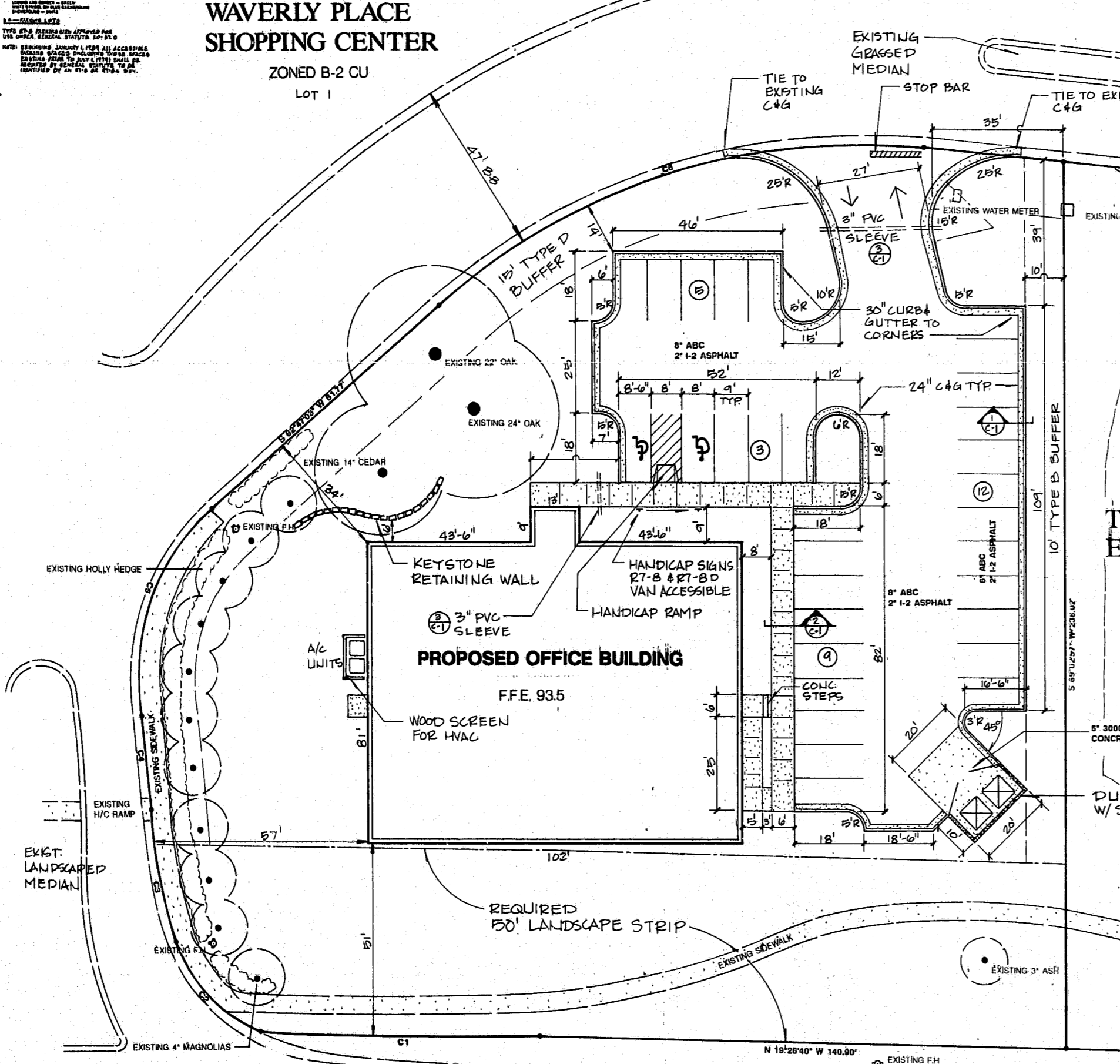
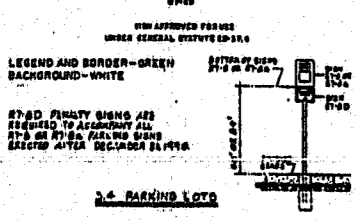
SITE DATA

ZONING B-2 CU
SITE AREA 1.163 ACRES LOT 12
EXISTING USE VACANT
PROPOSED USE OFFICE
BUILDING SIZE 8,000 S.F.
DISTURBED AREA 39,110 S.F.
VEHICLE USE AREA 12,604 S.F.
IMPERVIOUS AREA 21,744 S.F.
BUILDING PAVEMENT 8,000 S.F.
SEWER FLOW 720 GPD.
PARKING REQUIRED 27 SPACES
PARKING PROPOSED 29 + 2 HC
P.I.N. NUMBER 762.15-53-4879
OWNER CARY TRAVEL
 BILL ZAHN
 1196 KILDAIRE FARM RD
 SUITE 110
 CARY, NC 27526

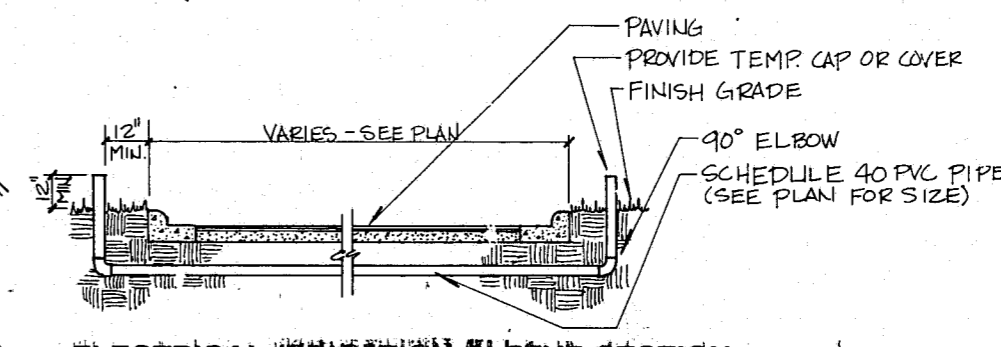


VICINITY MAP
1" = 300' APPROX.
ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS.

MAXIMUM PENALTY \$100
GS 90-37.6



TRIANGLE EAST BANK
ZONED B-2 CU
LOT 13

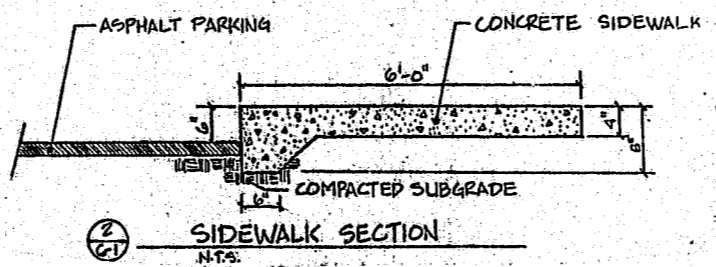
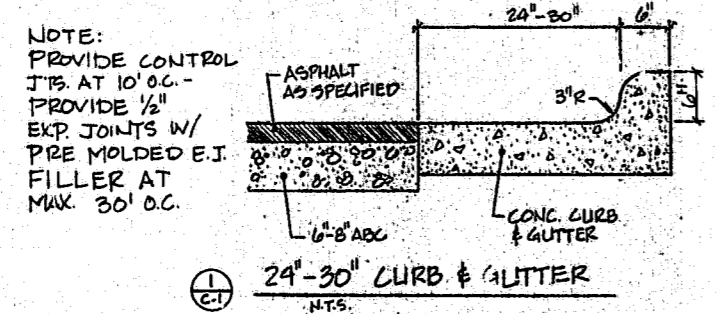


NOTES:

- Boundary, topography, and existing information taken from survey map by Hill Gillespie, R.L.S., 4008 Green Level Road, Apex, North Carolina 27502 dated May 12, 1994. Telephone number is 919/387-0208.
- All construction within street right-of-way shall be to the standards of the local government agency having jurisdiction over such work.
- Contractor shall secure all necessary permits for construction shown on these plans.
- All dimensions and staking point locations are to back of curb/edge of pavement unless otherwise noted.
- Any work shown on these plans that is found to be in conflict with local zoning setback requirements shall be immediately reported to the Landscape Architect for adjustment.
- Locations for existing utilities shown on these plans are approximate. Contractor shall verify the locations of all utilities and shall be responsible for any damage to same.
- Contractor shall at all times maintain adequate safety measures, activities and barricades for the protection of all persons on or about the location of the site.
- Contractor shall paint symbols, install signs, and construct necessary ramps, as per the North Carolina State Building Code, for all handicap parking spaces noted on plan.
- Contractor shall delineate parking space lines, handicap symbols, directional arrows, lane markings, "STOP" messages, etc. as shown on the plans with traffic marking paint according to the manufacturer's specifications. Use white paint.
- See architectural plans for building dimensions and other information pertaining to the building.
- Call 800/421-1111 before digging.

CONDITIONAL USE NOTES
(per Conditional Use Permit Approved January 11, 1999)

- GENERAL CONDITIONS**
- Fill (50') landscaped strip to be measured from new right of way, along Kildaire Farm Road and Apex-Macedonia Road. No parking or structures permitted in 50' area.
 - Kildaire Farm Road will be improved to the same section, with landscaping, as in Lockmore. Total road to be under contract within one year of approved zoning.
 - Apex-Macedonia Road will be improved on subject property side to town requirements. To be under contract within one year of approved zoning.
 - Land south of the draw will be designated for office zoning to a point where B-2 CU zoning would begin.
 - Butters - 105' on creek bank on the east side of the property (water retention structures can be built in butters) and 30' buffer around new and existing ponds (existing small lake in CU B-2 may be removed or restricted).
 - A 60' buffer between B-2 CU and O-3 CU zoning.
 - Approval of site plans in areas having slopes of greater than fifteen percent (15%) will be contingent on staff review of detailed studies provided by the developer for streets, utilities, parking area, and buildings.
 - No land disturbing activities will occur until site plans are approved. Site plans will contain field topo and identify significant trees.
 - No development will be constructed on slopes over twenty-percent (20%) where the area exceeds 10,000 sq. ft. (All slopes shall be determined from original topo).
 - There will be one main entrance and one right-in right-out only entrance on both Kildaire Farm Road and Apex-Macedonia Road.
- B-2 CU CONDITIONS**
- Maximum development commercial uses - 60% of acreage. The remaining 40% shall be office uses. Commercial coverage to be limited to lots 7, 9, 10, 12, and 13, with the addition of other lot 5 or 6, as shown on recorded plat of Waverly Place Associates Book of Maps 1997, Page 1924. These are parcels bounded by S11009 and Kildaire Farm Road, and keep the commercial development at least 725 feet away from the Waverly Place and Lockidge property line, and approximately 450 feet away from the Ambulance Place Subdivision property line.
 - Permitted Uses: stores relating automobile accessories, groceries, drugs, notions, lin., nec., antiques, hardware, upholstery, paints, furniture, auto and television, appliances, bicycles, wallpaper, electrical and plumbing fixtures, batteries, bookstores, candy, clothing, dry goods, gifts, hobbies and crafts, jewelry, leather goods, magazines, musical goods, pet, sporting goods, shoes and toys.
 - Permitted Uses: banks, barber and beauty shops, shoe repair, laundry and dry cleaning, restaurants, parking lots, service station, radio and television repair, offices, business offices, calleries, financial offices, florists, medical offices (human), household equipment, hotels, libraries, theaters, telephone sales, reproduction establishments, governmental offices, day care centers.
 - Two (2) outparcels bordering Kildaire Farm Road and S11009 will allow restaurants with drive-through service.
 - Drive-through restaurant users shall be split allowing no more than one (1) each on Kildaire Farm Road and S11009.
 - Outparcels used for drive-through service shall be limited to lots 12 on Kildaire Farm Road, and one (1) of lot number 5 or 6 on S11009 as shown on recorded plat of Waverly Place Associates Book of Maps 1997, page 1924.
 - Should any or all of these designated lots be developed for another use, the drive-through service shall not be transferable to another outparcel.
 - Should the interior roadway configuration allow for the addition of a lane to the outparcel curb cut for turns, then the affected outparcel shall widen its curb cut to allow for turn lanes, one (1) entrance, two (2) exits for right and left hand turns.
 - All drive-through service windows shall be sufficiently screened by grade and landscaping from primary roadways or the window service shall be located so that orientation or visibility, if any, is from the viewpoint of the commercial roadway and shopping center.
 - Building heights to be as follows:
 - First 130' from edge of ultimate right of way from Kildaire Farm Road and/or Apex-Macedonia Road: maximum height 12'.
 - 130' to 195' from edge of ultimate right of way from Kildaire Farm Road and/or Apex-Macedonia Road: maximum height 12'.
 - 195' to 250' from edge of ultimate right of way from Kildaire Farm Road and/or Apex-Macedonia Road: maximum height 20'.
 - After first 250' maximum height not to exceed 84'. Each building side to be measured individually. Height to be measured from approved grading plan. At no time can the east side of a building exceed an additional 14'.



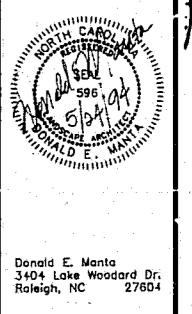
APPROVED
DATE: 10-3-94
BY: JH Tucker
TOWN OF CARY ENGINEERING DEPARTMENT

SP-208-94
APPROVED
P&Z 7-13-94
TC 7-28-94
RCP

OFFICIAL APPROVED PLAN

BOBBITT & ASSOCIATES, INC.
3404 LAKE WOODARD DRIVE
RALEIGH, NC 27604
(919) 231-8738
FAX (919) 231-8764

BOBBITT
DESIGN BUILD



Cary Travel
SITE & STAKING PLAN
CARY, NORTH CAROLINA

Cary Travel
CARY, NORTH CAROLINA

1456-0028

SCALE: 1"=20'

26 MAY 1994

C-1

APPROVED FOR CONSTRUCTION