

SITE DATA SUMMARY

TOTAL TRACT / CREAGE	85.40 ACRES
ZONING	B-3 C.U.
EXISTING SHOPPING CENTER DEVELOPMENT	361,716 SF
HUDSON BELK	166,856 SF
MEY'S	60,000 SF
EXISTING MALL SHOPS	134,860 SF
PROPOSED SHOPPING CENTER DEVELOPMENT	547,860 SF
MEY'S (RELOCATED)	120,000 SF
DEPT. STORE 1	103,305 SF
DEPT. STORE 2	103,555 SF
DEPT. STORE 3	92,512 SF
PROPOSED MALL SHOPS C.L.A.	131,406 SF
TOTAL SHOPPING CENTER DEVELOPMENT	809,596 SF
FRINGE LAND DEVELOPMENT	52,590 SF
SUPERMARKET	26,750 SF
FIRESTONE	6,700 SF
WACHOVA BANK	5,830 SF
GOLDEN CORRAL	4,650 SF
FIEZA INN	2,862 SF
SOUTHERN NATIONAL BANK	2,143 SF
TACO BELL	1,646 SF
OPTOMETRIC CENTER	2,000 SF
TOTAL PROPOSED DEVELOPMENT	962,186 SF
PARKING REQUIRED (5.00 SPACES/1000 SF)	4811 SPACES
PARKING PROPOSED(5.02 SPACES/1000 SF)	4830 SPACES
HANDICAP SPACES REQUIRED(2%/1000+17/3811)	56 SPACES
HANDICAP SPACES PROPOSED	64 SPACES
HANDICAP SPACES EXISTING	8 SPACES
HANDICAP SPACES NEW/RELOCATED	56 SPACES
LANDSCAPING AREA REQUIRED	564,004 SF
LANDSCAPING AREA PROPOSED	570,490 SF
IMPERVIOUS AREA	3,149,534 SF
DENUDED AREA	3,223,440 SF
WATER DEMAND	105,201 GPD
EXISTING DEMAND	37,051 GPD
PROPOSED DEMAND	68,150 GPD

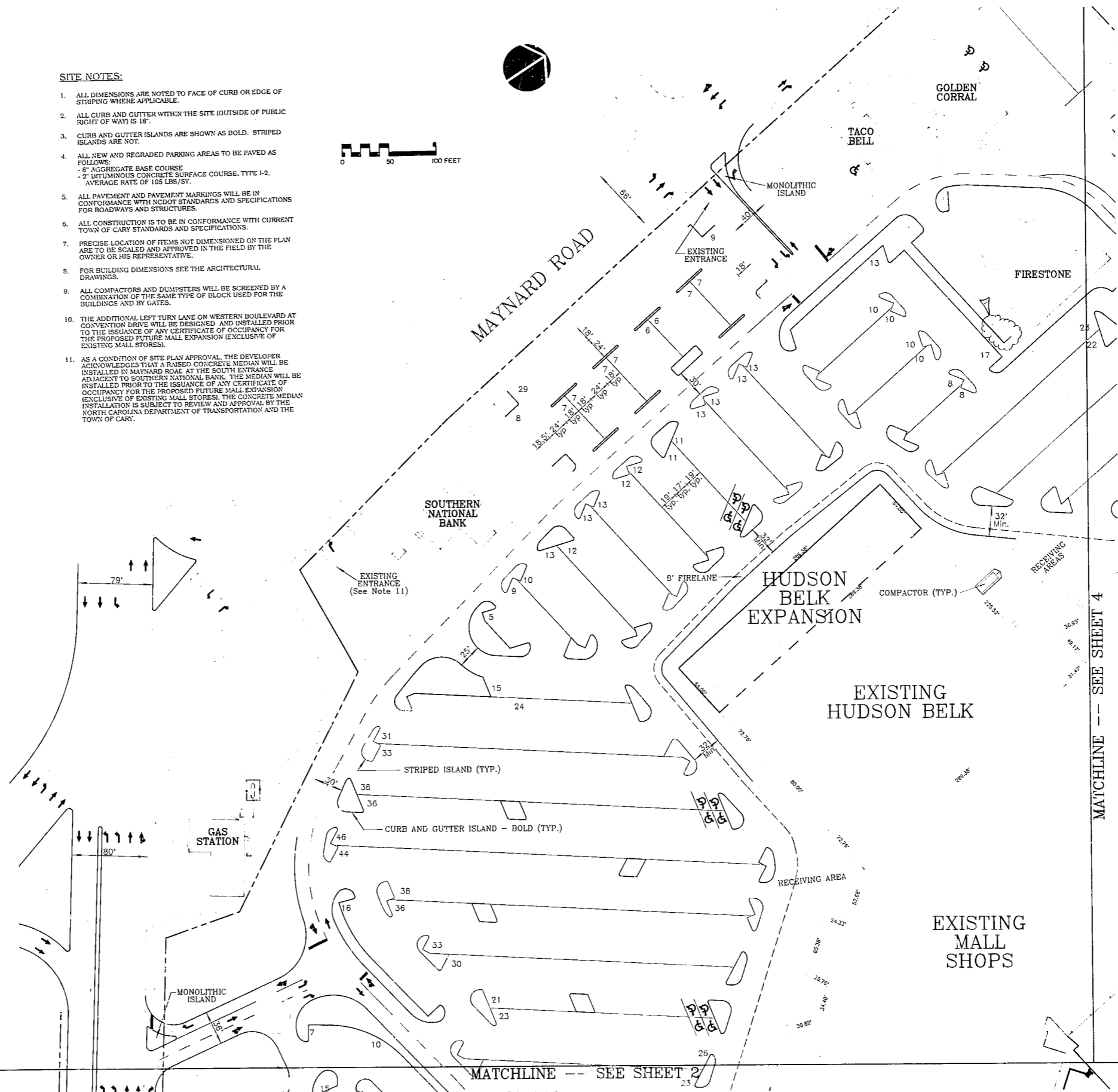
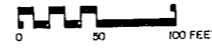
DEVELOPER

JACOBS, VISCONSI & JACOBS CO.

25+25 CENTER RIDGE ROAD
CLEVELAND ROAD 44145
(216)571-4800

SITE NOTES:

- ALL DIMENSIONS ARE NOTED TO FACE OF CURB OR EDGE OF STRIPING WHERE APPLICABLE.
- ALL CURB AND GUTTER WITHIN THE SITE (OUTSIDE OF PUBLIC RIGHT OF WAY) IS 18".
- CURB AND GUTTER ISLANDS ARE SHOWN AS BOLD. STRIPED ISLANDS ARE NOT.
- ALL NEW AND REGRADED PARKING AREAS TO BE PAVED AS FOLLOWS:
- 8" AGGREGATE BASE COURSE
- 2" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 1-2.
AVERAGE RATE OF 105 LBS/SY.
- ALL PAVEMENT AND PAVEMENT MARKINGS WILL BE IN CONFORMANCE WITH NC DOT STANDARDS AND SPECIFICATIONS FOR ROADWAYS AND STRUCTURES.
- ALL CONSTRUCTION IS TO BE IN CONFORMANCE WITH CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE SCALED AND APPROVED IN THE FIELD BY THE OWNER OR HIS REPRESENTATIVE.
- FOR BUILDING DIMENSIONS SEE THE ARCHITECTURAL DRAWINGS.
- ALL COMPACTORS AND DUMPSTERS WILL BE SCREENED BY A COMBINATION OF THE SAME TYPE OF BLOCK USED FOR THE BUILDINGS AND BY GATES.
- THE ADDITIONAL LEFT TURN LANE ON WESTERN BOULEVARD AT CONVENTION DRIVE WILL BE DESIGNED AND INSTALLED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR THE PROPOSED FUTURE MALL EXPANSION EXCLUSIVE OF EXISTING MALL STORES).
- AS A CONDITION OF SITE PLAN APPROVAL, THE DEVELOPER ACKNOWLEDGES THAT A RAISED CONCRETE MEDIAN WILL BE INSTALLED IN MAYNARD ROAD AT THE SOUTH ENTRANCE ADJACENT TO SOUTHERN NATIONAL BANK. THE MEDIAN WILL BE INSTALLED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR THE PROPOSED FUTURE MALL EXPANSION (EXCLUSIVE OF EXISTING MALL STORES). THE CONCRETE MEDIAN INSTALLATION IS SUBJECT TO REVIEW AND APPROVAL BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE TOWN OF CARY.



Wm. G. Daniel & Assoc.
Engineering Planning
Landscape Architecture



Revisions

- MARCH 19, 1999- T.O.C. FIRST REVIEW
- APRIL 20, 1999- REV. CURB & GUTTER AT FIRESTONE

Project
CARY VILLAGE MALL

SITE PLAN

Date
MARCH 16, 1999

Scale
1" = 50'

Sheet
S1