



Revisions
 23 JUN 1989 1st TOC Review
 10 JUL 1989 2nd TOC Review
 24 JUL 1989 3rd TOC REVIEW
 8 SEPT 1989 ADDED SITE NOTE 11

Project
CARY VILLAGE MALL

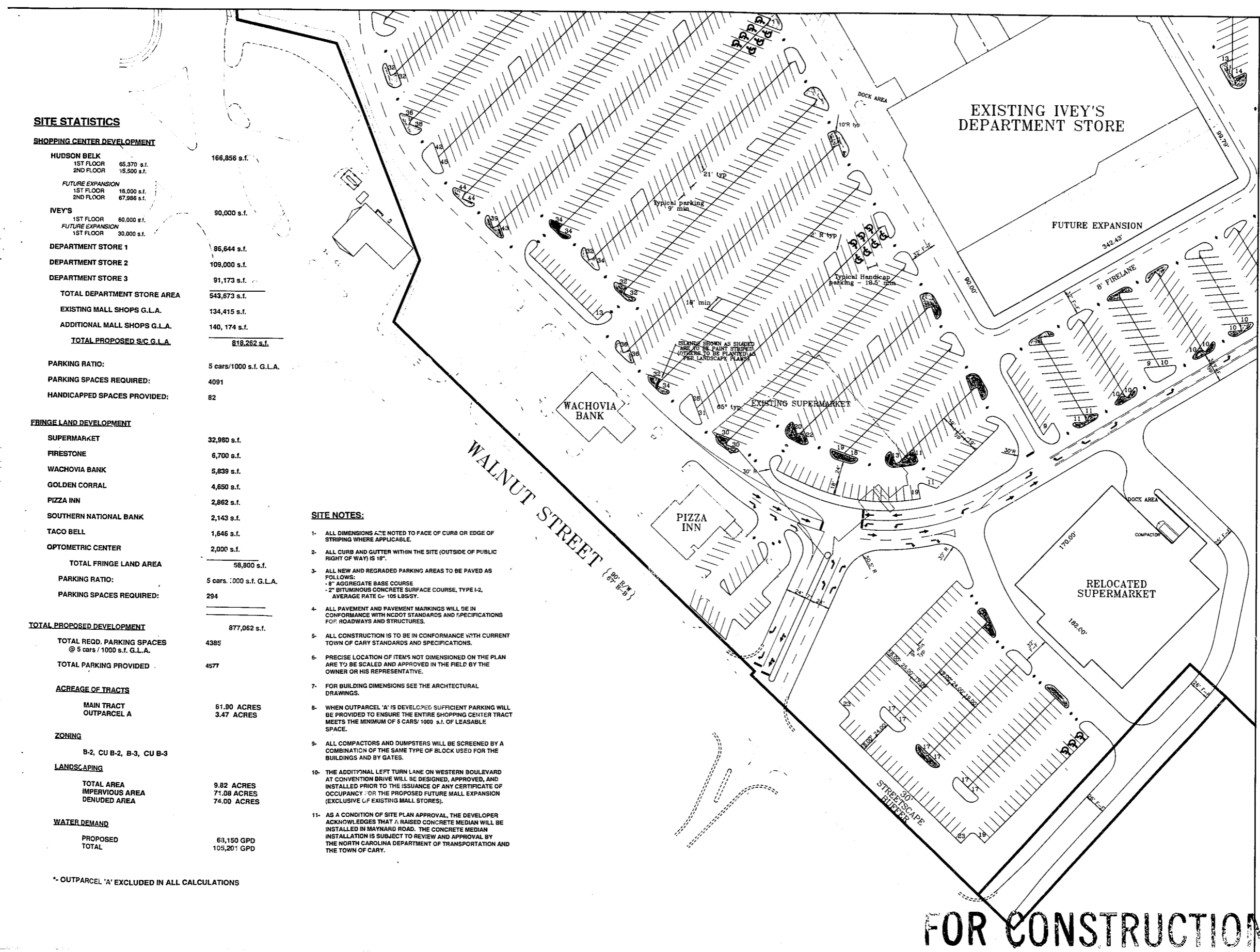
SITE PLAN

Date
JUNE 1, 1989

Scale
1"=50'

Sheet

S-1



SITE STATISTICS

SHOPPING CENTER DEVELOPMENT

HUDSON BELK		166,856 s.f.
1ST FLOOR	65,370 s.f.	
2ND FLOOR	15,500 s.f.	
FUTURE EXPANSION		
1ST FLOOR	16,000 s.f.	
2ND FLOOR	67,986 s.f.	
IVEY'S		90,000 s.f.
1ST FLOOR	60,000 s.f.	
FUTURE EXPANSION	30,000 s.f.	
DEPARTMENT STORE 1		86,644 s.f.
DEPARTMENT STORE 2		109,000 s.f.
DEPARTMENT STORE 3		91,173 s.f.
TOTAL DEPARTMENT STORE AREA		543,673 s.f.
EXISTING MALL SHOPS G.L.A.		134,415 s.f.
ADDITIONAL MALL SHOPS G.L.A.		140,174 s.f.
TOTAL PROPOSED S.C. G.L.A.		818,262 s.f.
PARKING RATIO:	5 cars/1000 s.f. G.L.A.	
PARKING SPACES REQUIRED:		4091
HANDICAPPED SPACES PROVIDED:		82

FRINGE LAND DEVELOPMENT

SUPERMARKET	32,960 s.f.
FIRESTONE	6,700 s.f.
WACHOVIA BANK	5,839 s.f.
GOLDEN CORRAL	4,650 s.f.
PIZZA INN	2,862 s.f.
SOUTHERN NATIONAL BANK	2,143 s.f.
TACO BELL	1,646 s.f.
OPTOMETRIC CENTER	2,000 s.f.
TOTAL FRINGE LAND AREA	58,800 s.f.
PARKING RATIO:	5 cars : 1000 s.f. G.L.A.
PARKING SPACES REQUIRED:	294

TOTAL PROPOSED DEVELOPMENT

TOTAL REQD. PARKING SPACES @ 5 cars / 1000 s.f. G.L.A.	4385
TOTAL PARKING PROVIDED	4577

ACREAGE OF TRACTS

MAIN TRACT	61.90 ACRES
OUTPARCEL A	3.47 ACRES

ZONING

B-2, CU B-2, B-3, CU B-3

LANDSCAPING

TOTAL AREA	9.82 ACRES
IMPERVIOUS AREA	71.08 ACRES
DENUDED AREA	74.00 ACRES

WATER DEMAND

PROPOSED	61,150 GPD
TOTAL	105,201 GPD

* OUTPARCEL 'A' EXCLUDED IN ALL CALCULATIONS

SITE NOTES:

- 1- ALL DIMENSIONS ARE NOTED TO FACE OF CURB OR EDGE OF STRIPING WHERE APPLICABLE.
- 2- ALL CURB AND CUTTER WITHIN THE SITE (OUTSIDE OF PUBLIC RIGHT OF WAY) IS 18".
- 3- ALL NEW AND REGRADED PARKING AREAS TO BE PAVED AS FOLLOWS:
 - 8" AGGREGATE BASE COURSE
 - 2" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 1-2, AVERAGE RATE 6-105 LBS/SY.
- 4- ALL PAVEMENT AND PAVEMENT MARKINGS WILL BE IN CONFORMANCE WITH NC DOT STANDARDS AND SPECIFICATIONS FOR ROADWAYS AND STRUCTURES.
- 5- ALL CONSTRUCTION IS TO BE IN CONFORMANCE WITH CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
- 6- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE SCALED AND APPROVED IN THE FIELD BY THE OWNER OR HIS REPRESENTATIVE.
- 7- FOR BUILDING DIMENSIONS SEE THE ARCHITECTURAL DRAWINGS.
- 8- WHEN OUTPARCEL 'A' IS DEVELOPED SUFFICIENT PARKING WILL BE PROVIDED TO ENSURE THE ENTIRE SHOPPING CENTER TRACT MEETS THE MINIMUM OF 5 CARS/ 1000 S.F. OF LEASABLE SPACE.
- 9- ALL COMPACTORS AND DUMPSTERS WILL BE SCREENED BY A COMBINATION OF THE SAME TYPE OF BLOCK USED FOR THE BUILDINGS AND BY GATES.
- 10- THE ADDITIONAL LEFT TURN LANE ON WESTERN BOULEVARD AT CONVENTION DRIVE WILL BE DESIGNED, APPROVED, AND INSTALLED PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR THE PROPOSED FUTURE MALL EXPANSION (EXCLUSIVE OF EXISTING MALL STORES).
- 11- AS A CONDITION OF SITE PLAN APPROVAL, THE DEVELOPER ACKNOWLEDGES THAT A RAISED CONCRETE MEDIAN WILL BE INSTALLED IN MAYNARD ROAD. THE CONCRETE MEDIAN INSTALLATION IS SUBJECT TO REVIEW AND APPROVAL BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE TOWN OF CARY.

FOR CONSTRUCTION