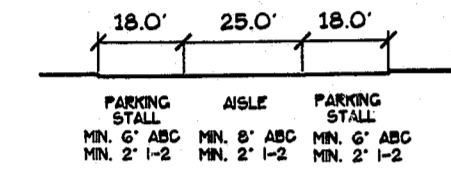


RETAINING WALL-TYPICAL REINFORCED SECTION
STANDARD UNIT - 1' MINIMUM SETBACK

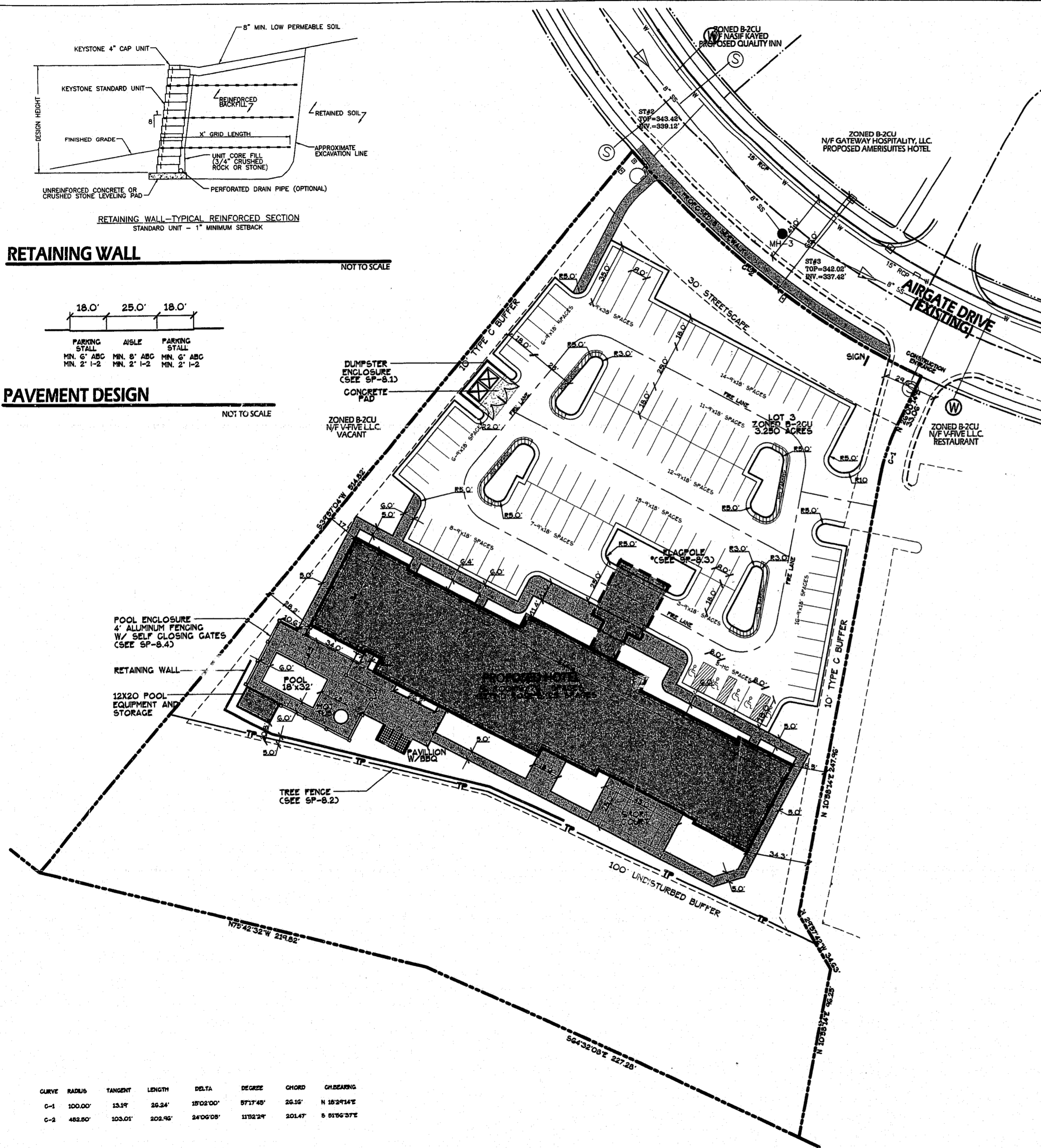
RETAINING WALL

NOT TO SCALE



PAVEMENT DESIGN

NOT TO SCALE



CURVE	RADIUS	TANGENT	LENGTH	DELTA	DEGREE	CHORD	CHORD BEARING
C-1	100.00'	13.3°	20.24'	18°02'00"	87°17'45"	26.15'	N 18°24'14"E
C-2	482.80'	103.01'	202.95'	24°00'08"	113°22'24"	201.47'	S 01°56'37"E

SITE DATA:

LOCATION: NORTHERN QUADRANT OF THE INTERSECTION OF INTERSTATE 40 AND AIRPORT BLVD.
 CARY PROJECT NO: 01-SP-013
 PARCEL ID: 0756.01-49-4652
 LOT AREA: 3.250 AC
 ZONING: BUSINESS 2 CONDITIONAL USE THOROUGHFARE CORRIDOR BUFFER DISTRICT AIRPORT OVERLAY DISTRICT
 REZONING CASE NO. Z-804-95-1 (PARK-N-FLY PARCEL)
 GROWTH PLAN: COMMERCIAL
 OVERLAY DISTRICT: AIRPORT, THOROUGHFARE CORRIDOR, BUFFER
 STREET ADDRESS - # AIRGATE DRIVE
 OWNER/APPLICANT: EAST-WEST HOSPITALITY 211 MARVISTA CT. CARY, NC 27511
 SQUARE FOOTAGE: X
 NUMBER OF STORIES: 4
 VEHICULAR SURFACE AREA: 37,7690 S.F.
 PROPOSED DENUDED AREA: 2.08 AC
 IMPERVIOUS SURFACE AREA: 46,411 S.F.
 SEWER: TOWN OF CARY
 DAILY PROJECTED FLOW: 9,120 GPD (120 GAL./ROOM)
 LF PUBLIC WATER: 8" DIP-282 LF
 6" DIP-123 LF
 4" DIP-40 LF
 LF FIRE LANE: 678 LF

GENERAL NOTES:

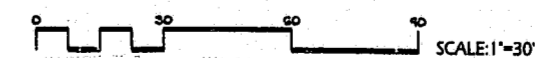
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF DEVELOPMENT SERVICES.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS THE REQUIRED BUFFER TYPE, (I.E. TYPE A, B, C, AND 100 FT. THOROUGHFARE CORRIDOR BUFFER) THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, GAS, OR OTHER SIMILAR UTILITY SHALL BE SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF A 5 FOOT CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10 FOOT CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- ALL HVAC AND MECHANICAL SYSTEMS WILL BE SCREENED FROM VIEW. SCREENING WILL BE MADE OF A MATERIAL AND COLOR THAT WILL BLEND WELL WITH MAIN BUILDING.
- ALL HVAC SYSTEMS SHALL BE PAINTED THE SAME COLOR AS THE BASE FIELD COLOR OF THE WALL.

ZONING CONDITIONS

- [ZONING PERMIT NO. Z-804-95-1 PARK 'N FLY]
- MOTELS, HOTELS GENERAL OFFICE BUILDINGS, BANKS, PARKING LOTS, RETAIL, RESTAURANTS, ONE COMBINATION BUILDING OF ANY OF THREE USES INCLUDING AUTOMOBILE SERVICE STATION, CONVENIENCE STORE, DRIVE IN/THROUGH RESTAURANT.
 - EXCEPT FOR THE COMBINATION BUILDING DESCRIBED BELOW, THE RETAIL USES SHALL NOT EXCEED 10 IN NUMBER AND EACH RETAIL USE SHALL NOT BE LESS THAN 15,000 S.F. IN SIZE. NO MORE THAN THREE RETAIL TENANTS SHALL SHARE A COMMON WALL. IN ADDITION TO THESE USES, ONE COMBINATION BUILDING (OR BUILDING GROUPING) WHICH MAY INCLUDE AN AUTOMOBILE SERVICE STATION, A CONVENIENCE STORE, A DRIVE IN/THROUGH RESTAURANT OR A COMBINATION OF ANY OF THESE USES MAY BE DEVELOPED. THE COMBINATION BUILDING SHALL BE LOCATED A MINIMUM OF 650 FT. FROM THE PROPERTY CORNER CLOSEST TO THE INTERSECTION OF AIRPORT BLVD. AND PLEASANT GROVE CHURCH ROAD AND SHALL BE SIMILAR IN CHARACTER TO PRESTON CORNERS COMBINATION BUILDINGS.
 - THE 100 FOOT THOROUGHFARE BUFFER ALONG INTERSTATE 40 REQUIRED BY THE CARY U.D.O. WILL BE ADHERED TO WITH ANY SITE PLAN
 - THE FIRST 450 LF. ALONG PLEASANT GROVE CHURCH ROAD FRONTAGE FROM THE PROPERTY CORNER AT THE INTERSECTION OF AIRPORT BLVD. AND PLEASANT GROVE CHURCH ROAD SHALL BE A 100 FOOT WIDE UNDISTURBED BUFFER (WITH THE EXCEPTION WHERE CONSTRUCTION MAY BE REQUIRED BY NCDOT) AND THE BALANCE OF THE FRONTAGE SHALL BE A 30 FOOT STREETScape.
 - THERE WILL BE A 30 FT. UNDISTURBED BUFFER FOR A DISTANCE OF APPROXIMATELY 625 FEET ALONG THE RDU PROPERTY ON THE NORTH SIDE OF THE PROPERTY. THERE WILL BE A 30 FT. UNDISTURBED BUFFER FOR A DISTANCE OF APPROX. 640 FEET ALONG THE RDU PROPERTY ON THE SOUTHWEST SIDE OF THE PROPERTY.
 - B-2 USES WITH THE EXCEPTION OF CHURCHES AND SEXUALLY-ORIENTED USES ARE PERMITTED AS USED WHICH ARE ANCILLARY TO, AND/OR CARRIED ON IN CONNECTION WITH OR WITHIN MOTELS, HOTELS, OR GENERAL OFFICE BUILDINGS.
 - RETAIL USES SHALL NOT BE PERMITTED TO HAVE ANCILLARY USES EXCEPT RESTAURANTS.
 - AT THE TIME OF THE FIRST SITE PLAN SUBMITTAL, APPLICANT WILL SUBMIT ARCHITECTURAL GUIDE LINES, DESIGN STANDARDS, MASTER SIGNAGE PLAN, AND A CONCEPTUAL MASTER PLAN FOR THE ENTIRE SITE.

LEGEND

- FLARED END SECTION
- TREE PROTECTION FENCE



01-SP-013
APPROVED
 DRC 2/18/02
 BS 2/21/02
 TS 2/22/02

dda
D'Amato
Design
Associates

Land Planning
 Site Design
 Landscape Architecture
 5500 McNeely Drive, Suite 203
 Raleigh, North Carolina 27612
 Tel. 919.786.0040
 Fax 919.786.4554
 davedamato@aol.com

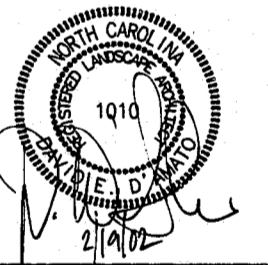
Design By: DED
 Drawn By: BAO/H
 Checked By: DED
 Date: 5 FEBRUARY 2001
 Proj#:

Revisions:
 26 MARCH 2001-TOC
 21 MAY 2001-2ND TOC
 6-AUG 2001-TOC 4TH REV.

HAWTHORN SUITES HOTEL

AT THE AIRPORT GATEWAY
 CARY, NORTH CAROLINA

DEVELOPER:
 EAST-WEST HOSPITALITY
 211 MARVISTA CT.
 CARY, NC 27511
 919.362.8621



CIVIL ENGINEER:
 SPAULDING & NORRIS, PA
 972 TRINITY ROAD
 RALEIGH, NC 27607
 919.854.7990
 ARCHITECT:
 SURAPUN ARCHITECTS
 3900 ARROW DRIVE
 RALEIGH, NC 27612
 919.782.9660

SITE PLAN