

**TRACT 2  
MARKETPLACE MALL**  
PROPERTY OF  
**COPLEY CAPITAL I PARTNERS**  
D.B. 5068, PG. 63  
P.I.N. 756.01.38.9414  
ZONED O & I  
SHOPPING MALL

**AIRPORT BLVD.**  
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY

- GENERAL NOTES**
1. THE UNDERGROUND GAS AND ELECTRIC CABLES WERE MARKED IN THE FIELD AND SURVEYED. THE TELEPHONE AND CATV CABLES WERE NOT MARKED AND NOT SURVEYED. THE TELEPHONE AND CATV CABLES ARE LOCATED WITHIN THE RIGHT OF WAYS OF AERIAL CENTER PARKWAY AND HOSPITALITY COURT.
  2. NO IMPROVEMENTS WITHIN THE S.B.T.&T. EASEMENTS ON LOT 1 WERE VISIBLE AT THE TIME OF SURVEY.
  3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND PIPE AND UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTACT NORTH CAROLINA ONE CALL AT 1-800-632-4949 FOR FIELD LOCATION OF UTILITIES.
  4. DECORATIVE PAVING MATERIAL SHALL BE INSTALLED WITH THE EQUIVALENT STRUCTURAL NUMBER TO THE 8" OF ABC STONE WITH 2" OF ASPHALT REQUIRED BY THE CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
  5. IRRIGATION SYSTEMS SHALL BE INSTALLED IN ALL LANDSCAPED AREAS.
- NOTES:**
1. THE PROTECTION FENCING OR SLT FENCING TO BE PROVIDED ALONG INTERIOR EDGES OF BUFFERS AND AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH TOWN OF CARY STANDARDS.
  2. COORDINATE ALL WORK WITH SITE, GRADING, AND UTILITIES PLANS.
  3. VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
  4. SEED ALL AREAS DISTURBED BY CONSTRUCTION AND NOT INDICATED TO BE PAVED OR PLANTED. USE REBEL 2 FESCUE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  5. INSTALL ALL LANDSCAPE MATERIAL UPON COMPLETION OF GRADING ACTIVITIES.
  6. MULCH ALL AREAS THAT ARE NOT SEEDDED, WITH PINE STRAW TO A DEPTH OF 3".
  7. SEE DETAIL SHEETS FOR LANDSCAPE DETAILS.
  8. THE SELECTION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE TOWN OF CARY STANDARD APPEARANCE SPECIFICATIONS MANUAL, WHICHEVER IS STRICTER.
  9. FOSTER #2 HOLLIES SHALL BE INSTALLED WITHOUT ALIGNING THEM IN FRONT OF WINDOWS AND SHALL BE MAINTAINED IN A TIGHTLY SHEARED CONDITION.

- GENERAL CONSTRUCTION NOTES**
1. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB. CONTACT THE ENGINEER FOR A LISTING OF COORDINATES FOR ALL PARKING LOTS AND BUILDING CORNERS.
  2. ALL CURB AND GUTTER SHOWN WITHIN THIS SITE IS STANDARD 24" SEE DETAIL ON SHEET 19.
  3. CURBING ALONG FIRE LANE SHALL BE PAINTED YELLOW AND SHARDED ACCORDINGLY. AREAS TO BE MARKED AS SUCH SHALL BE DETERMINED BY ON-SITE INSPECTION BY THE CARY FIRE DEPARTMENT UPON COMPLETION OF THE PROPOSED IMPROVEMENTS.
  4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
  5. ALL MECHANICAL EQUIPMENT SUCH AS HVAC UNITS SHALL BE SCREENED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARDS.
  6. CRESCENT FEES ARE DUE WITHIN 90 DAYS AFTER TOWN COUNCIL APPROVAL.
  7. IT IS THE RESPONSIBILITY OF THE OWNER/ENGINEER TO SECURE THE FOLLOWING PERMITS AFTER TOWN COUNCIL APPROVAL, AND THE TOWN OF CARY GRADING PERMIT:  
a. A CERTIFICATE OF INSURANCE TO VERIFY WORKERS COMPENSATION, INSURANCE AND A COMPLIANCE VERIFICATION FORM MUST BE COMPLETED BEFORE AN ENVIRONMENTAL PERMIT WILL BE ISSUED. THESE FORMS CAN BE PICKED UP AT THE TOWN OF CARY ENGINEERING OFFICE.
  8. THIS PROJECT MAY REQUIRE A PRECONSTRUCTION CONFERENCE BEFORE AN ENVIRONMENTAL PERMIT IS ISSUED.
  9. LA QUINTA INNS INC. THE CURRENT OWNERS OR ANY FUTURE OWNERS OF THIS FACILITY SHALL BE RESPONSIBLE FOR THE MAINTENANCE, IRRIGATION AND REPLACEMENT OF THE PROVIDED LANDSCAPE WITHIN THE RIGHT-OF-WAY AS SHOWN ON THESE PLANS. LANDSCAPING THAT MUST BE REPLACED SHALL BE REPLACED IN ACCORDANCE WITH THESE APPROVED PLANS.

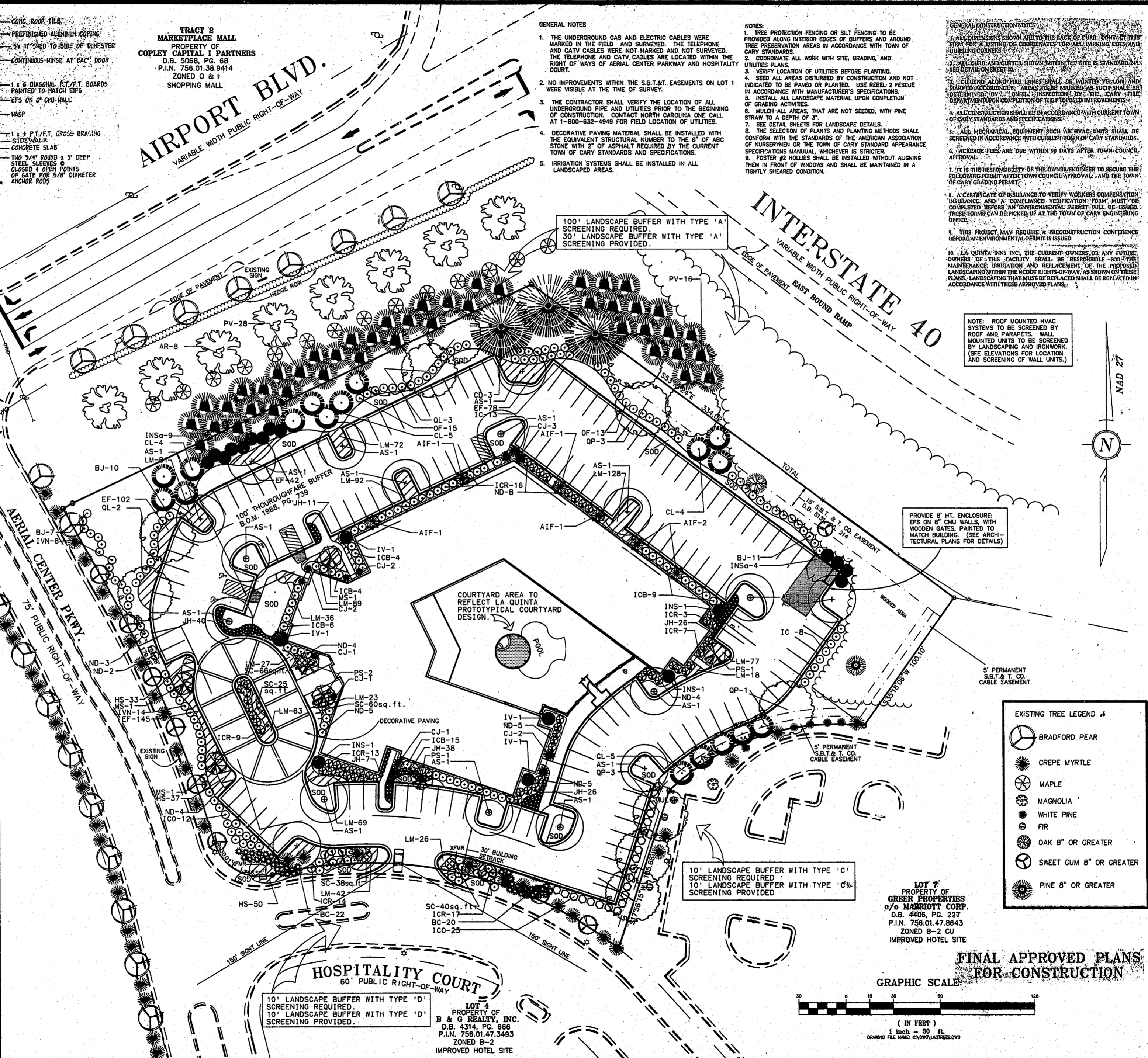
**1 DUMPSTER FENCE ELEVATION**  
SCALE: 1/4"=1'-0"  
02B30AAT

10' LANDSCAPE BUFFER WITH TYPE 'D' SCREENING REQUIRED.  
10' LANDSCAPE BUFFER WITH TYPE 'D' SCREENING PROVIDED.

PROPERTY OF  
**PIZZAGALLI INV. CO.**  
D.B. 3889, PG. 724  
P.I.N. 756.01.47.7320  
ZONED B-2  
UNIMPROVED

**PLANT KEY**

KEY	BOTANICAL NAME COMMON NAME	QTY	MIN. SIZE	SPACING
<b>TREES</b>				
AS	ACER SACCHARUM SUGAR MAPLE	16	2.5" cal. 8' hgt.	AS SHOWN
CD	CELANUS DEODARA DEODAR CEDAR	3	2.5" cal. 8' hgt.	AS SHOWN
CL	COUPRESSOCYPARIS LEYLANDII LEYLAND CYPRESS	18	2.5" cal. 8' hgt.	AS SHOWN
INS	ILEXNELLIE R STEVENS NELLIE STEVENS HOLLY	3	2.5" cal. 8' hgt.	AS SHOWN
IV	ILEX VOMITORIA YALPON HOLLY	4	2.5" cal. 8' hgt.	AS SHOWN
MS	MAGNOLIA SOULANGIANA SAUCER MAGNOLIA	3	2.5" cal. 8' hgt.	AS SHOWN
PS	PRUNUS SERRULATA ORIENTAL CHERRY	4	2.5" cal. 8' hgt.	AS SHOWN
QL	QUERCUS LATIFOLIA LAUREL OAK	4	2.5" cal. 8' hgt.	AS SHOWN
QP	QUERCUS PHELLOS WILLOW OAK	9	2.5" cal. 8' hgt.	AS SHOWN
PV	PINUS VIRGINIANA VIRGINIA PINE	44	B&B 5' hgt. 15' O.C.	
AR	ACER RUBRUM RED MAPLE	8	3" cal. 8' hgt.	AS SHOWN
<b>SHRUBS</b>				
BC	BERBERIS X CHENAULTII CHENAULT BARBERRY	42	3 gal. 18" hgt. 3.5' O.C.	
BJ	BERBERIS JULINAE WINTERGREEN BARBERRY	28	3 gal. 24" hgt. 4.5' O.C.	
CJ	CLYPERA JAPONICA JAPANESE OLIVE	12	3 gal. 18" hgt. 3.5' O.C.	
ICB	ILEX CORNUTA BURFORDII NANA DWARF BURFORD HOLLY	38	3 gal. 18" hgt. 3.5' O.C.	
IC	ILEX CORNUTA BURFORDII BURFORD HOLLY	21	7 gal. 5' hgt. 7' O.C.	
ICO	ILEX CORNUTA CHINESE HOLLY	35	3 gal. 18" hgt. 3.5' O.C.	
ICR	ILEX JAPONICA JAPANESE HOLLY	79	3 gal. 18" hgt. 3.5' O.C.	
INSa	ILEXNELLIE R STEVENS NELLIE STEVENS HOLLY	13	7 gal. 5' hgt. 7' O.C.	
IVN	ILEX VOMITORIA NANA DWARF YALPON HOLLY	22	3 gal. 18" hgt. 3.5' O.C.	
ND	NANDINA DOMESTICA HEAVENLY BAMBOO	40	3 gal. 24" hgt. 4.5' O.C.	
OF	OSMANTHUS FORTUNEI FORTUNE'S OSMANTHUS	28	7 gal. 5' hgt. 7' O.C.	
IAF	ILEXATTENUATA 'FOSTERI' FOSTER #2 HOLLY	6	7 gal. 5' hgt. AS SHOWN	
<b>GROUNDCOVERS</b>				
EF	EUONYMUS FORTUNEI WINTERCREPPER	367	4" pot 2' O.C.	
HS	HEMOCALLIS SP. DAYLILY	130	1 gal. 2' O.C.	
JH	JUNIPERUS HORIZONTALIS CREEPING JUNIPER	148	1 gal. 3' O.C.	
LM	LIRIODENDRON BIG BLUE LILYTURF	843	4" pot 1.5' O.C.	
SC	SEASONAL COLOR	226	sq. ft. LOCAL STANDARDS	



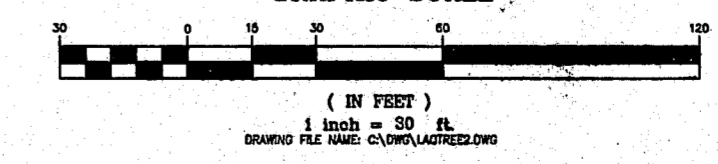
NOTE: ROOF MOUNTED HVAC SYSTEMS TO BE SCREENED BY ROOF AND PARAPETS. WALL MOUNTED UNITS TO BE SCREENED BY LANDSCAPING AND IRONWORK. (SEE ELEVATIONS FOR LOCATION AND SCREENING OF WALL UNITS.)

PROVIDE 8' HT. ENCLOSURE. EIFS ON 6" CMU WALLS WITH WOODEN GATES, PAINTED TO MATCH BUILDING. (SEE ARCHITECTURAL PLANS FOR DETAILS.)

10' LANDSCAPE BUFFER WITH TYPE 'C' SCREENING REQUIRED.  
10' LANDSCAPE BUFFER WITH TYPE 'C' SCREENING PROVIDED.

10' LANDSCAPE BUFFER WITH TYPE 'D' SCREENING REQUIRED.  
10' LANDSCAPE BUFFER WITH TYPE 'D' SCREENING PROVIDED.

**FINAL APPROVED PLANS  
FOR CONSTRUCTION**



**SITE LANDSCAPE PLAN**

**Lifescapes**  
6202 Hickory Flat Hwy.  
Canton, Georgia 30116  
(404) 954-4500



**LA QUINTA CARY, N.C.**

REVISED:	
▲	JULY 5, 1995
▲	AUG 3, 1995
▲	
▲	
JOB NO:	
DRAWN BY:	KH / RD
DATE:	6-16-95
SHEET NO:	5 of 12

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