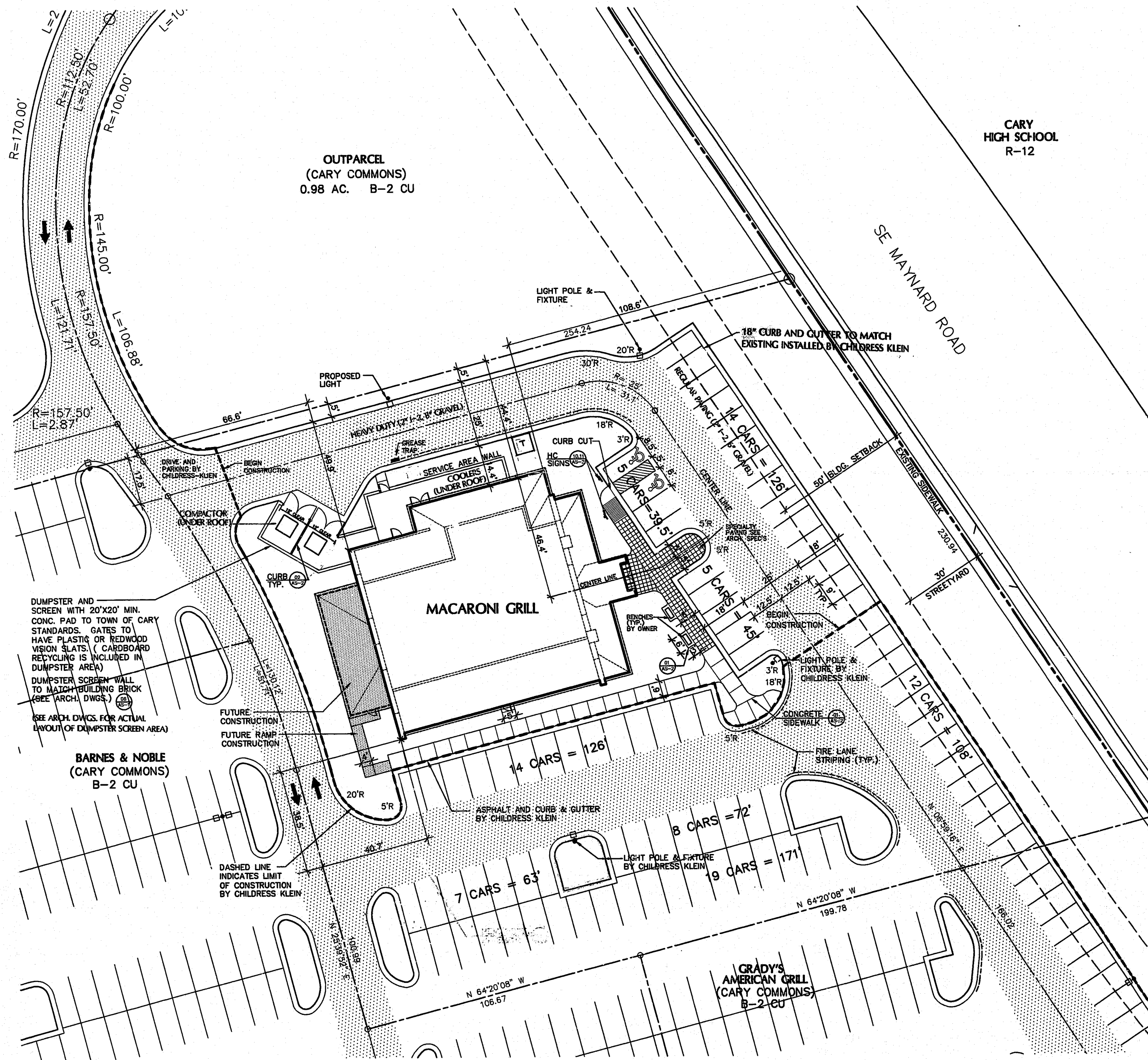


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**SITE DATA**

ZONING	B-2 CU
TOTAL AREA	1.44 AC
VEHICULAR USE AREA	35,230 SF
IMPERVIOUS SURFACE AREA	45,366 SF
GROSS BLDG. SF	7,833 SF
# OF SEATS	299
PARKING REQUIRED (1 per 3 seats)	99
PARKING PROPOSED	84*
HC SPACES REQUIRED	3 SPACES
HC SPACES PROPOSED	2 SPACES*
TOTAL LANDSCAPED AREA	17,360 SF

\* CROSS ACCESS AGREEMENTS ARE IN PLACE FOR CARY COMMONS SHOPPING CENTER. EXCESS PARKING IS AVAILABLE ON THE BARNES & NOBLE TRACT. PARKING SUMMARY IS AS FOLLOWS:

<b>TRACT 'A' BARNES &amp; NOBLE (CONS. DWGS. DATED 2/20/95)</b>	PARKING REQUIRED = 118	PARKING PROPOSED = 214	(+96 SPACES)
<b>TRACT 'B' KINKO'S (CONS. DWGS. DATED 2/20/95)</b>	PARKING REQUIRED = 24	PARKING PROPOSED = 34	(+10 SPACES)
<b>GRADY'S AMERICAN GRILL (SUBMITTED 5/12/95)</b>	PARKING REQUIRED = 96	PARKING PROPOSED = 75	(-19 SPACES)
<b>MACARONI GRILL (SUBMITTED 5/26/95)</b>	PARKING REQUIRED = 99	PARKING PROPOSED = 84	(-15 SPACES)
<b>TOTAL PARKING EXCESS +72 SPACES</b>			

- NOTES:**
- ALL CONSTRUCTION OUTSIDE OF DASHED LINE IS BY THE CONTRACTOR FOR CARY COMMONS.
  - IF IMPROVEMENTS REQUIRED TO SUPPORT MACARONI GRILL HAVE NOT BEEN INSTALLED BY THE SHOPPING CENTER DEVELOPER, THEN MACGRILL WILL BE RESPONSIBLE FOR THE INSTALLATION OF IMPROVEMENTS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
  - HVAC UNITS ARE LOCATED IN A SCREENED PANEL ON TOP OF THE BUILDING.

**ZONING CONDITIONS**

The proposed project is designed as a mixed use facility with a maximum gross floor area of 140,000 sq. ft. of building area. A portion of the site (8.73 acres) is designated for retail/commercial use (all uses specified in the B-2 District) with a maximum building area of 65,000 sq. ft. (excluding mezzanine areas, mezzanine not to be used for retail sales) and a portion of the site (4.3 acres) is designated for office use (all uses specified in the O & I District) with a maximum building area (multi storied) of 75,000 sq. ft.

No buildings with retail/commercial uses will be located closer than 275 feet to the Pirates Cove Property Line.

No single tenant in the retail/commercial area will exceed 50,000 sq. ft.

No building in the retail/commercial area will exceed 29 feet in height.

All proposed buildings in the office area shall be limited to two stories of heated space (for a total of 35' height). The overall height of the structure may exceed 35' in height if the lower floors are used for parking and any parking is completely below grade for at least one facade of the buildings.

The buildings in the retail/commercial area will be architecturally compatible with each other. Specifically, the materials of the buildings will be compatible to each other.

Access to the development will be limited to two (2) curb cuts on Walnut Street and one (1) curb cut on Maynard Road. One of the curb cuts on Walnut Street will be opposite of the entrance to Cary Town Center Mall, and will tie into the signalization system at that intersection. This access will be full service ingress and egress. The other access on Walnut Street will be right in / right out only. The Maynard Road access will be full service ingress and egress.

The developer will escrow \$25,000.00 upon the issuance of a building permit for a future traffic signal at the Maynard Road and the Seabrook Avenue intersection at Maynard Road. This \$25,000.00 will be made available to NC DOT or to the Town of Cary for a period of 5 years from the date of issuance of the building permit.

There will be a 60' foot buffer along the Pirates Cove common property line. 40 feet of this buffer will be undisturbed existing vegetation - 20 feet will be graded and relandscaped. A 6' tall wooden fence intended to restrict visibility a minimum of 75-85% will be installed on the north side of the 40' undisturbed buffer. A hedge of Leyland cypress or appropriate substitute will be installed the length of this buffer. Plants will be planted a minimum of 6 feet on center and will be a minimum 6 feet tall at the time of planting.

There will be a 65 foot buffer along the eastern property line. Utilities, both existing and proposed, as well as the required retention basin may infringe on this buffer in the south east section of the property. A hedge of Leyland cypress or a appropriate substitute will be installed the length of this buffer along the edge of the service drive. Plants will be planted a minimum of 6 feet on center and will be a minimum 6 feet tall at the time of planting.

The development will meet all storm water and surface drainage requirements as required by the Town of Cary. In addition any surface water that currently flows through the site from the Cary High School and Maynard Road area (approximately 7 acres) will be directed into a detention basin.

The following uses will be prohibited:

- Amusement establishments
- Automobile repair facilities
- Vehicle sales and rental
- Commercial outdoor recreation
- Outdoor amphitheaters
- Private clubs
- Cemeteries
- Nursing homes
- Restaurants with drive through service

Any parking lot lighting close to the rear or side property lines will be shielded away from adjacent properties.

TOTAL SITE PARKING IS IN EXCESS OF 100 REQUIRING 9 HC SPACES. TWO VAN ACCESSIBLE SPACES ARE BEING PROVIDED IN ADDITION TO 2 HC SPACES WITH 2 ALLOCATED TO THIS PARCEL.

**JTA**  
**JERRY TURNER & ASSOCIATES**

LANDSCAPE ARCHITECTURE  
 LAND PLANNING  
 ENVIRONMENTAL DESIGN

905 JONES FRANKLIN ROAD  
 RALEIGH, NORTH CAROLINA 27606  
 (919) 851-7150

62 S.E. 6TH AVENUE  
 DELRAY BEACH, FLORIDA 33483  
 (407) 276-0453

PROJECT

**MACARONI GRILL**  
 CARY COMMONS  
 CARY, NORTH CAROLINA

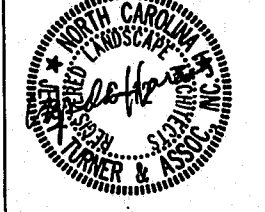
REVISIONS

- 6/19/95
- 6/26/95
- 6/28/95 DUMPSTER

DRAWN: TAS  
 CHECKED: LH  
 SCALE: 1"=20'  
 DATE: 5/26/95  
 TITLE: LAYOUT/SITE PLAN

**LAYOUT/SITE PLAN**

FILE NO: 170  
 JOB NO: 2093.05  
 SEAL: SHEET NO.



1

CONSTRUCTION DRAWING