

NOTE:
SEE EXISTING SURVEY FOR INFORMATION ON EXISTING SITE CONDITIONS. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND DEMOLITION OF EXISTING STRUCTURES AND OTHER EXISTING UTILITIES.

NOTES:
ALL WORK ON PUBLIC RIGHT-OF-WAY SHALL BE IN STRICT ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS. ALL CURB AND GUTTER DISTANCES AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.

SEE SHEET C-2 FOR DETAILS ON UTILITY CONNECTIONS AND PLANS.

SEE SHEET C-3 FOR DETAILS ON STORM DRAINAGE (PIPING AND INLETS).

NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF DEVELOPMENT SERVICES.

THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.

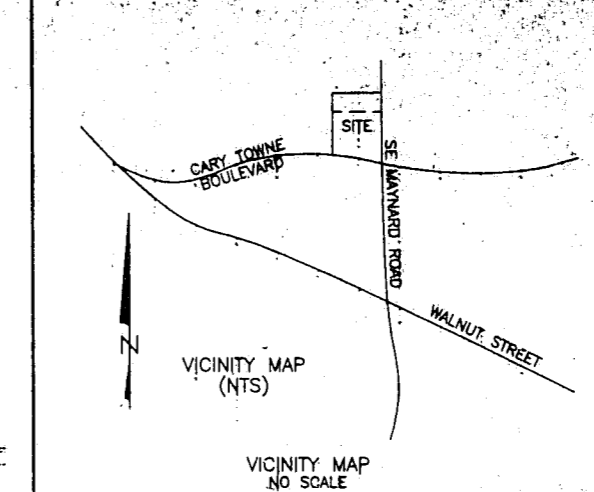
ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS (IF APPLICABLE) WILL BE SCREENED FROM OFF-SITE VIEWS.

ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.

GENERAL NOTES:
ALL SIDEWALKS SHALL HAVE C.C. @ 5' O.C. ALL DRIVE THRU SLAB JOINTS SHALL LINE UP WITH ADJACENT 6" VERT. CURB JOINTS. ALL CONCRETE SHALL BE SEALED.
ALL FLAG POLES SHALL HAVE A MAXIMUM HEIGHT OF 30'-0". THE MAXIMUM FLAG SIZE SHALL NOT EXCEED 6'x8' SURFACE AREA. NO MORE THAN THREE FLAG POLES ARE ALLOWED. THREE FLAG POLES HAVE BEEN PROVIDED.

SITE PLAN KEY NOTES:
1. 4" THICK CONC. PAV. 18" HIGH FINISH
2. 12" THICK CONC. PAV. 18" HIGH FINISH
3. 12" THICK CONC. PAV. 18" HIGH FINISH
4. 12" THICK CONC. PAV. 18" HIGH FINISH
5. 12" THICK CONC. PAV. 18" HIGH FINISH
6. 12" THICK CONC. PAV. 18" HIGH FINISH
7. 12" THICK CONC. PAV. 18" HIGH FINISH
8. 12" THICK CONC. PAV. 18" HIGH FINISH
9. 12" THICK CONC. PAV. 18" HIGH FINISH
10. 12" THICK CONC. PAV. 18" HIGH FINISH

MCDONALD'S SIGN SCHEDULE:
1. ROAD SIGN (MIN. SIZE & HT. PER APPLICABLE CODE)
2. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
3. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
4. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
5. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
6. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
7. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
8. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
9. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER
10. 12" TO 18" ENTRANCE SIGN W/ DRIVE-THRU NUMBER



ALL SIGNAGE APPROVALS AND PERMITS SHALL BE OBTAINED FROM THE TOWN OF CARY PRIOR TO PLACEMENT OF SIGNAGE.

SIGN SCHEDULE LOCATED ON DRAWINGS IN ORDER TO MEET MCDONALD'S CORPORATION SHEET REQUIREMENTS. SIGN SCHEDULE HAS NO BEARING ON STATUS OF SIGNAGE APPROVAL OR PERMITS.

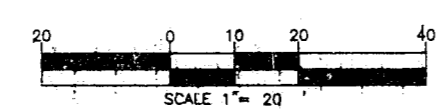
VILLAGE SQUARE SHOPPING CENTER
B-2 COMMERCIAL
0763.08-97-0659
VARIOUS INDIVIDUAL OWNERSHIPS
CURRENT USE: THEATRE

- LEGEND:**
- EP - EXISTING IRON PIPE
 - TP - TELEPHONE PEDESTAL
 - GM - GAS METER
 - WM - WATER METER
 - B - BOLLARD
 - FH - FIRE HYDRANT
 - UP - UTILITY POLE
 - CB - CATCH BASIN
 - CI - CURB INLET
 - S - SIGN
 - MH - MANHOLE
 - CO - CLEAN OUT
 - FP - FLAG POLE
 - LP - LIGHT POLE
 - PT - PAD MOUNT TRANSFORMER
 - HP - HANDICAP PARKING

NOTES:
AREAS ARE BY COORDINATE CALCULATION. THERE IS NO NC GRID CONTROL WITHIN 2000'. ELEVATIONS ARE NAVD 29'.
REFERENCES:
DEED BOOK 7797, PAGE 509
DEED BOOK 2280, PAGE 322
DEED BOOK 3486, PAGE 589
BOOK OF MAPS 1974, PAGE 326

RELOCATED TELEPHONE AND 3'x4' CONCRETE PAD @ 3,000 PSI @ 28 DAYS. PHONE SHALL BE RE-ORIENTED TO FACE NEW WALK.
NEW CONCRETE STEPS AND 5' WALK EXISTING PHONE AND CONCRETE PHONE PAD TO BE RELOCATED AS INDICATED. THIS SHEET

ZONING INFORMATION
ZONING - COMMERCIAL BUSINESS DISTRICT (B-2)
JURISDICTION - CITY OF CARY
USE - RESTAURANT
PIN# - 0763.08-97-8507
BUILDING - 1 STORY (HEIGHT = 17'-6" @ BLDG.)
LOT SIZE - ~52,794.72 S.F. (1.21 ACRES)
INCLUDES 0.338 AC LEASED ADJ. PARCEL
BUILDING SQ. FOOTAGE - 3,829 S.F.
REQUIRED PARKING - 37 SPACES
MCDONALD'S: 1 SPACE PER 3 SEATS (110 SEATS TOTAL)
TOTAL PROVIDED PARKING - 49 SPACES (INCLUDES 2 HCP)
VEHICLE USE IMPERVIOUS SURFACE AREA - 22,831 SQ. FT.
TOTAL SQUARE FEET OF IMPERVIOUS AREA - 32,045 SQ. FT.
PROPOSED SITE IMPERVIOUS SURFACE AREA - 60.49%
PLANTING PLAN AND MATERIALS - SEE SHEET 5
ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF CARY STANDARDS AND SPECIFICATIONS.



DORIS S. DENNING
CARY CO. COMPANY
R-30 RESIDENTIAL
VACANT
0773.06-07-1816

SITE DATA
CARY PROJECT NO. 99-SP-003
OWNER:
MCDONALD'S CORPORATION
3200 BEECHLEAF COURT
SUITE 300
RALEIGH, NC 27604

CARY VENTURE LIMITED PARTNERSHIP
CARY TOWNE BOULEVARD
B-2 COMMERCIAL
0773.06-08-3846

PRELIMINARY
IN PROGRESS DRAWING
NOT FOR
CONSTRUCTION

APPROVED
FEB 4-29-99
TM 4-29-99

DB 2280, PG 322

1 SITE PLAN
1" = 20'

GENERAL NOTES

- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 1" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITIES. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING THE GUARD POSTS AT THE DRIVE-THRU WINDOWS TO THE BACK OF CURB WHEN SLIDER WINDOWS ARE BEING INSTALLED IN LIEU OF BUBBLE WINDOWS AS SHOWN ON PLAN, AND MUST BE VERIFIED BY REGIONAL PROJECT MANAGER.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS (UNLESS OTHERWISE DIRECTED BY REGIONAL PROJECT MANAGER). FINISH GRASSING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- CONTRACTOR TO DRILL 3/4" WEEP HOLES IN CONCRETE CURBS AT 6"-0" O.C. WHERE LANDSCAPING IS ADJACENT TO CURB.
- ALL PROPOSED DIMENSIONS ON SHEET C-1 ARE TO BACK OF CURB. ALL PROPOSED ELEVATIONS ON SHEET C-3 ARE TO TOP OF CURB UNLESS OTHERWISE INDICATED.

PAVING SPECIFICATION - (ON SITE)
(MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

PARKING AREAS
1" COMPACTED 1-2 ASPHALT WEARING SURFACE
OVER 2" COMPACTED ASPHALT BINDER COURSE
6" COMPACTED STONE BASE (ABC)

TRAVEL AISLES
2" COMPACTED 1-2 ASPHALT WEARING SURFACE
OVER 8" COMPACTED STONE BASE (ABC)

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, D.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING ASB 250 WATT METAL HALIDE FIXTURE @ 90' ON 20 FOOT POLE ON 2' FOOT CONCRETE BASE
ASB-250-MH-DB-MT-W/LAMP
GEN. CONTRACTOR TO NOTE CORRECT LOCATIONS OF FIXTURES

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION

TOTAL SPACES	43	SPACES 9.5' x 18.0' @ 90°	39
		SPACES 9.5' x 18.0' @ 60°	2
		SPACES 8.0' x 18.0' @ 60°	2

UTILITY INFORMATION

SIZE	TYPE	LOCATION
6"	UNKNOWN	EAST PARKING EDGE PARALLEL WAYNARD RD
16"	UNKNOWN	WAYNARD RD
16"	UNKNOWN	THROUGH SITE
UNKNOWN	OVERHEAD	THROUGH SITE
UNKNOWN	UNKNOWN	WEST SIDE OF SITE IN CENTRAL ISLAND

SURVEY INFORMATION

PREPARED BY:
THOMPSON AND ASSOCIATES, P.A.

DATE: 01-04-99

LEGEND:

SS	SANITARY SEWER	LP	LOT LIGHT
W	WATER	EX	EXISTING ELEVATION (78.5)
ST	STORM SEWER	PR	PROPOSED ELEVATION (77.0)
E	ELECTRIC		

PLAN SCALE: 1" = 20'

STREET ADDRESS
869 EAST MAYNARD ROAD

CITY CARY STATE NORTH CAROLINA

COUNTY WAKE

SITE PLAN

THOMPSON AND ASSOCIATES, P.A.
1000 W. HUNTER STREET, SUITE 100, RALEIGH, NC 27601
TEL: 919-873-1100
FAX: 919-873-1101
WWW.TAASSOCIATES.COM

REV	DATE	DESCRIPTION	BY	ISSUE
1	2/2/99	1ST REVIEW: TOWN OF CARY COMMENTS	JKH	
2	3/4/99	2ND REVIEW: TOWN OF CARY COMMENTS	JKH	
3	4/12/99	3RD REVIEW: TOWN OF CARY COMMENTS	JKH	

PLAN APPROVALS (2 REQUIRED):

SIGNATURE	DATE
_____	_____
_____	_____

CO-SIGN SIGNATURES:

STATUS	DATE
PRELIMINARY	12-10-98
PLAN CHECKED	XXX
AS-BUILT	XXX

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.