

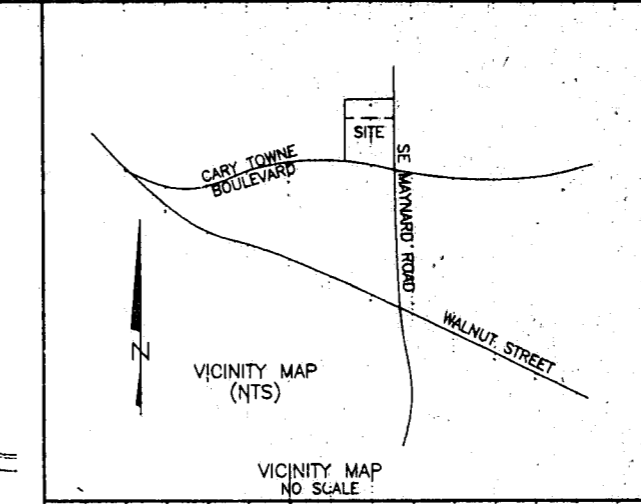
NOTE: SEE EXISTING SURVEY FOR INFORMATION ON EXISTING SITE CONDITIONS. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND DEMOLITION OF EXISTING STRUCTURES AND OTHER EXISTING UTILITIES.

GENERAL UTILITY NOTES:
 CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) PRIOR TO THE START OF CONSTRUCTION.
 CONTRACTOR SHALL COORDINATE THE RELOCATION, IF REQUIRED, OF ANY COMPLICATING UTILITIES WITH THE APPROPRIATE AUTHORITIES.
 ALL REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 ALL WORK MATERIALS, PLACEMENT, AND LOCATION OF UTILITIES SHALL BE AS PER THE STANDARDS AND SPECIFICATIONS OF THE CITY OF CARY.
 ALL EXISTING SITE LIGHTING TO BE REMOVED.

NOTES: ALL WORK ON PUBLIC RIGHT-OF-WAY SHALL BE IN STRICT ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
 ALL ACCESS DRIVES TO REMAIN. NO NEW ACCESS DRIVES ARE PROPOSED. ACCORDING TO NCDOT, NO DRIVEWAY PERMITS ARE REQUIRED IF NO NEW ACCESS DRIVES ARE PROPOSED.
 THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG ALL PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT CAROLINA POWER AND LIGHT COMPANY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE PLANS.
 SEE SHEET C-2 FOR DETAILS ON UTILITY CONNECTIONS AND PLANS.
 SEE SHEET C-3 FOR DETAILS ON STORM DRAINAGE (PIPE AND INLETS).

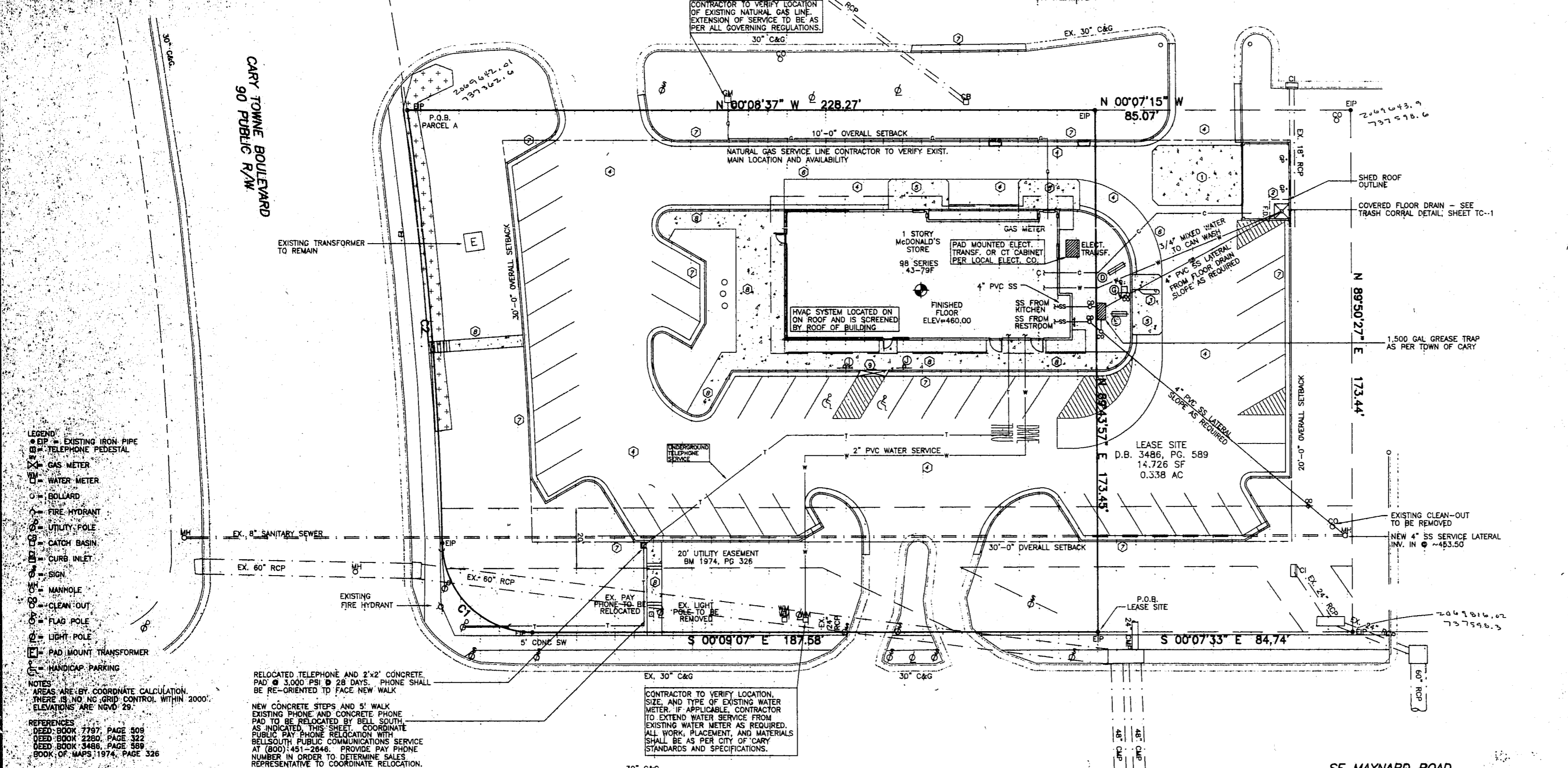
- SITE PLAN KEY NOTES**
- 1" TRUCK CONDUIT, PAD WITH RUBBER FEETING, SEE SHEET C-2 FOR PAD PLAN
 - VEHICLE INSPECTOR LOOP (ONLY BY PLACE BY G.C.)
 - APPROXIMATE FINISH ELEVATION INDICATED
 - 1" TRUCK CONDUIT, PAD WITH RUBBER FEETING
 - 1" YELLOW SIGNATURE AND STAMP OR COLOR MARK
 - WALL TYPE 8" CURB AND GUTTER
 - 1" TRUCK CONDUIT, PAD WITH RUBBER FEETING
 - INSPECTOR LOOP - 1/2" SLOPED WARDING

- MCDONALD'S SIGN SCHEDULE**
1. ROAD SIGN (MAX. SIZE & HT. PER APPLICABLE CODE)
 2. TWO 70-6M ENTRANCE SIGNS W/ DRIVE-THRU INSERTS
 3. BEST ARCHITECTURAL PLANS FOR BUILDING SIGNAGE
 4. MENU BOARD (7' x 7')
 5. FREE-BELL BOARD
 6. ONE FLAG POLE (AMERICAN FLAG) U.S. - 30' HT.
 7. CUSTOMER ORDER DISPLAY (C.O.D.) W/ DETECTOR LOOP
 8. LIGHTED ROOF SIGNS PER ARCH. PLANS
 9. ONE FLAG POLE - 35' HT.
 10. TWO HANDICAP PARKING SIGNS (BY G.C.) (1/2" PER CURRENT NC CODES & A.D.A.)
 11. DOUBLE LOT LIGHT



- GENERAL NOTES**
1. MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
 2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
 3. 1" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
 4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
 5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST-ECONOMICAL INSTALLATION.
 6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 7. GENERAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING THE GUARD POSTS AT THE DRIVE-WASH WINDOWS TO THE BACK OF CURB WHEN SLIDER WINDOWS ARE BEING INSTALLED IN LIEU OF BUBBLE WINDOWS AS SHOWN ON PLAN, AND MUST BE VERIFIED BY REGIONAL PROJECT MANAGER.
 8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
 9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS (UNLESS OTHERWISE DIRECTED BY REGIONAL CONST. MANAGER). FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
 10. CONTRACTOR TO DRILL 3/4" WEEP HOLES IN CONCRETE CURBS AT 8'-0" O.C. WHERE LANDSCAPING IS ADJACENT TO CURB.
 11. ALL PROPOSED DIMENSIONS ON SHEET C-1 ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED ON SHEET C-3 ARE TO TOP OF CURB UNLESS OTHERWISE INDICATED.

REV.	DATE	DESCRIPTION	ISSUE NO.
1	2/8/99	1ST REVIEW: TOWN OF CARY COMMENTS	1/18
2	3/4/99	2ND REVIEW: TOWN OF CARY COMMENTS	1/18
3	4/12/99	3RD REVIEW: TOWN OF CARY COMMENTS	1/18

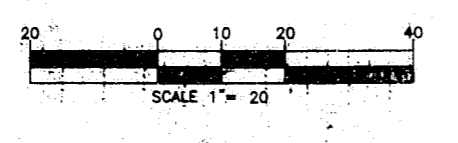


- LEGEND**
- EP - EXISTING IRON PIPE
 - TP - TELEPHONE PEDESTAL
 - GM - GAS METER
 - WM - WATER METER
 - B - BOLLARD
 - FH - FIRE HYDRANT
 - UP - UTILITY POLE
 - CB - CATCH BASIN
 - CI - CURB INLET
 - S - SIGN
 - M - MANHOLE
 - CO - CLEAN-OUT
 - FP - FLAG POLE
 - LP - LIGHT POLE
 - PM - PAD MOUNT TRANSFORMER
 - HP - HANDICAP PARKING
- NOTES:**
 AREAS ARE BY COORDINATE CALCULATION. THERE IS NO NC GRID CONTROL WITHIN 2000'. ELEVATIONS ARE NAVD 28.
 REFERENCES:
 DEED BOOK 7787, PAGE 809
 DEED BOOK 2280, PAGE 322
 DEED BOOK 3486, PAGE 889
 BOOK OF MAPS 1974, PAGE 326

RELOCATED TELEPHONE AND 2"x2" CONCRETE PAD @ 3,000 PSI @ 28 DAYS. PHONE SHALL BE RE-ORIENTED TO FACE NEW WALK.
 NEW CONCRETE STEPS AND 5' WALK EXISTING PHONE AND CONCRETE PHONE PAD TO BE RELOCATED BY BELL SOUTH AS INDICATED. THIS SHEET COORDINATE PUBLIC PAY PHONE RELOCATION WITH BELLSOUTH PUBLIC COMMUNICATIONS SERVICE AT (800) 451-2646. PROVIDE PAY PHONE NUMBER IN ORDER TO DETERMINE SALES REPRESENTATIVE TO COORDINATE RELOCATION.

CONTRACTOR TO VERIFY LOCATION, SIZE, AND TYPE OF EXISTING WATER METER. IF APPLICABLE, CONTRACTOR TO EXTEND WATER SERVICE FROM EXISTING WATER METER AS REQUIRED. ALL WORK, PLACEMENT, AND MATERIALS SHALL BE AS PER CITY OF CARY STANDARDS AND SPECIFICATIONS.

ZONING INFORMATION
 ZONING - COMMERCIAL BUSINESS DISTRICT (B-2)
 JURISDICTION - CITY OF CARY
 USE - RESTAURANT
 PIN# - 0763.08-97-8507
 BUILDING - 1 STORY (HEIGHT = 17'-6" @ BLDG.)
 LOT SIZE - 52,784.72 S.F. (1.21 ACRES)
 INCLUDES 0.338 AC LEASED ADJ. PARCEL
 BUILDING SQ. FOOTAGE - 3,829 S.F.
 REQUIRED PARKING - 37 SPACES
 MCDONALD'S: 1 SPACE PER 3 SEATS (110 SEATS TOTAL)
 TOTAL PROVIDED PARKING - 49 SPACES (INCLUDES 2 HCP)
 VEHICLE USE IMPERVIOUS SURFACE AREA - 22,831 SQ. FT.
 TOTAL SQUARE FEET OF IMPERVIOUS AREA - 32,045 SQ. FT.
 PROPOSED SITE IMPERVIOUS SURFACE AREA - 60.49%
 PLANTING PLAN AND MATERIALS - SEE SHEET 5
 ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF CARY STANDARDS AND SPECIFICATIONS.



WATER/SEWER TABULATIONS
 EXPECTED WATER USAGE: 2,600 GPD
 EXPECTED SEWER FLOWS: 2,600 GPD

2 UTILITY PLAN
 1" = 20'

APPROVED
 REP 4-29-99
 TM 4-29-99

PRELIMINARY
 IN PROGRESS DRAWING
 NOT FOR
 CONSTRUCTION
 DB 2280, PG 322

PAVING SPECIFICATION - (ON SITE)
 (MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

PARKING AREAS
 1" COMPACTED 1-2 ASPHALT WEARING SURFACE
 OVER 2" COMPACTED ASPHALT BINDER COURSE
 6" COMPACTED STONE BASE (ABC)

TRAVEL AISLES
 2" COMPACTED 1-2 ASPHALT WEARING SURFACE
 OVER 8" COMPACTED STONE BASE (ABC)

LOT LIGHTING RECOMMENDATION
 SECURITY LIGHTING ASB 290 WATT METAL HALIDE FIXTURE
 MOUNT ON 20 FOOT POLE ON 2 FOOT CONCRETE BASE
 ASB-250-MH-DB-MT-W/LAMP
 GEN. CONTRACTOR TO NOTE CORRECT LOCATIONS OF FIXTURES
 NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION

TOTAL SPACES	SPACES	9.5' X 18.0'	60'
43	39	9.5' X 18.0'	60'
	2 HANDICAP	8.0' X 18.0'	60'

UTILITY INFORMATION

UTILITY	SIZE	TYPE	LOCATION
SANITARY SEWER	6"		EAST PARKING EDGE PARALLEL WAYNARD RD
WATER	UNKNOWN		WAYNARD RD
STORM SEWER	16" 18" 24" 60"		THROUGH SITE
ELECTRIC	OVERHEAD		THROUGH SITE
GAS	UNKNOWN		WEST SIDE OF SITE IN CENTRAL ISLAND

SURVEY INFORMATION

PREPARED BY: THOMPSON AND ASSOCIATES, P.A.
 DATE: 01-04-99

LEGEND

SYMBOL	DESCRIPTION	EXISTING ELEVATION	PROPOSED ELEVATION
S-S	SANITARY SEWER		
W-W	WATER		
ST-ST	STORM SEWER		
E-E	ELECTRIC		
G-G	GAS		
LP-30	LOT LIGHT		
(78.5)	EXISTING ELEVATION		
(77.0)	PROPOSED ELEVATION		

PLAN SCALE: 1" = 20'

STREET ADDRESS: 869 EAST WAYNARD ROAD
 CITY: CARY STATE: NORTH CAROLINA
 COUNTY: WAKE

STATUS: PRELIMINARY DATE: 12-10-98
 PLAN CHECKED: KXX
 AS-BUILT: KXX

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: RALEIGH REGION
 ADDRESS: 3200 BRIDLE PATH COURT, SUITE 300, RALEIGH, N.C. 27604

DATE	BY
12-10-98	KXX
12-10-98	KXX

UTILITY PLAN C-2