

NOTE: SEE SHEET C-1 FOR DETAILS ON SITE PLANS AND DIMENSIONS

NOTE: SEE SHEET C-2 FOR DETAILS ON UTILITY CONNECTIONS AND PLANS

NOTE: SEE SHEET C-4 FOR DETAILS ON EROSION CONTROL DEVICES

NOTES:  
 SEE EXISTING SURVEY FOR INFORMATION ON EXISTING SITE CONDITIONS. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND DEMOLITION OF EXISTING STRUCTURES AND OTHER EXISTING UTILITIES.

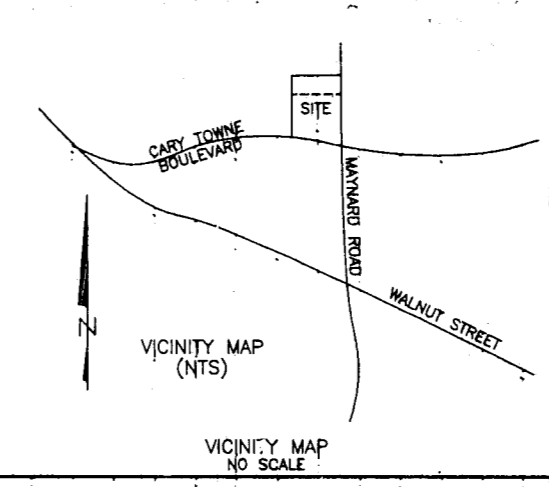
ALL EXISTING SITE AND LANDSCAPE MATERIALS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE DEMOLISHED AND REMOVED.

SEE LANDSCAPE PLAN FOR LOCATION AND REQUIREMENTS FOR THE REMOVAL OF EXISTING TREES, SHRUBS AND GROUNDCOVERS.

PROJECT NARRATIVE:  
 EXISTING SITE IS TO BE PREPARED TO ALLOW FOR THE CONSTRUCTION OF A NEW MCDONALD'S RESTAURANT. SEE EXISTING SITE SURVEY FOR INFORMATION ON EXISTING SITE. SITE IS THEN TO BE GRADED AS SHOWN TO ACCOMMODATE NEW SITE DEVELOPMENT. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ALSO, ALL REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

GENERAL GRADING NOTES  
 ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATION OF THE CITY OF CARY.  
 ALL REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.  
 THE CITY OF CARY, MCDONALD'S PROJECT MANAGER AND APPROPRIATE INSPECTORS SHALL BE NOTIFIED AT LEAST 24 HOURS OF REGULATED NOTICE TIME BEFORE WORK SHALL COMMENCE.  
 NEW ASPHALT AND CURB & GUTTER TO MATCH ELEVATIONS OF EXISTING ASPHALT AND CURB & GUTTER. NEW CURB & GUTTER ALONG NORTH PARKING AREA TO MATCH ELEVATIONS OF EXISTING CURB & GUTTER.

SITE PLAN KEY NOTES  
 1. 6" THICK CONC. PAD WITH REIN. FIBERS  
 2. SEE SHEET C-1 PLAN FOR TRUCK DRIVE, DETAILS  
 3. VEHICLE DETECTOR LOOP INST IN PLACE BY G.C.  
 4. ASPHALT FINISH SEE FINISH SPECIFICATION  
 5. 6" THICK CONC. PAD WITH REIN. FIBERS  
 6. 4" YELLOW STRIPES/ST. RED STRIPES @ DRIVE THRU  
 7. SPILL TYP. 6" CURB AND GUTTER  
 8. 4" THICK CONC. WALK  
 9. HANDICAP RAMP - 1:12 SLOPED WALKWAY



CURB INLET SCHEDULE

STRUCTURE	D.A. (AC.)	TBOC ELEV.	INLET ELEV.	INV. IN	INV. OUT
NEW CI #1	0.11	458.90	458.40	454.16	454.00
NEW CI #2	0.03	458.70	458.50	453.80	458.60
NEW CI #3	0.36	458.00	455.50	-	452.50
NEW CI #4	0.32	454.00	453.50	-	450.00

STRUCTURES TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF CARY.

NOTE: A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.

- CONSTRUCTION METHODS:
1. OBTAIN GRADING PERMIT FROM TOWN OF CARY AS REQUIRED.
  2. NOTIFY TOWN OF CARY CONSTRUCTION INSPECTOR FOR A PRE-CONSTRUCTION MEETING.
  3. VERIFY ALL EXISTING UTILITIES (TELEPHONE, UTILITIES, ETC.) AND RECORD EXISTING UTILITIES AS SHOWN, NEEDED, AND CORRECTED.
  4. BEGIN TO REMOVE EXISTING AREA FOR ALL SITE CONSTRUCTION. REMOVE EXISTING ASPHALT AND CURB & GUTTER. REMOVE EXISTING ASPHALT AND CURB & GUTTER. REMOVE EXISTING ASPHALT AND CURB & GUTTER. REMOVE EXISTING ASPHALT AND CURB & GUTTER.
  5. BEGIN SITE CONSTRUCTION AND FINISH INSTALLATION AS REQUIRED.
  6. INSTALL FINISH ASPHALT AND CURB & GUTTER. FINISH ASPHALT AND CURB & GUTTER. FINISH ASPHALT AND CURB & GUTTER. FINISH ASPHALT AND CURB & GUTTER.
  7. FINISH CONSTRUCTION AND FINISH INSTALLATION AS REQUIRED.
  8. FINISH CONSTRUCTION AND FINISH INSTALLATION AS REQUIRED.

SEE ENGINEER'S CONTROL POINT SHEET FOR INFORMATION AND LOCATION OF CONTROL POINTS. SEE SCHEDULE FOR REQUIRED PREPARATION AND ADDITIONAL CONSTRUCTION REQUIREMENTS.

- LEGEND
- EIP = EXISTING IRON PIPE
  - = TELEPHONE PEDESTAL
  - = GAS METER
  - = WATER METER
  - = BOLLARD
  - = FIRE HYDRANT
  - = UTILITY POLE
  - = CATCH BASIN
  - = CURB INLET
  - = SIGN
  - = MANHOLE
  - = CLEAN OUT
  - = FLAG POLE
  - = LIGHT POLE
  - = PAD MOUNT TRANSFORMER
  - = HANDICAP PARKING

NOTES:  
 AREAS ARE BY COORDINATE CALCULATION. THERE IS NO GRID CONTROL WITHIN 2000'. ELEVATIONS ARE NAVD 83.

REFERENCES:  
 DEED BOOK 7797, PAGE 309  
 DEED BOOK 2280, PAGE 322  
 DEED BOOK 3488, PAGE 389  
 BOOK OF MAPS-1974, PAGE 328

**ZONING INFORMATION**  
 ZONING - COMMERCIAL BUSINESS DISTRICT (B-2)  
 JURISDICTION - CITY OF CARY  
 USE - RESTAURANT  
 PIN# - 0763.08-97-8507  
 BUILDING - 1 STORY (HEIGHT = 17'-6" @ BLDG.)  
 LOT SIZE - ~32,794.72 S.F. (1.21 ACRES)  
 INCLUDES 0.338 AC LEASED ADJ. PARCEL  
 BUILDING SQ. FOOTAGE - 3,829 S.F.  
 REQUIRED PARKING - 37 SPACES  
 MCDONALD'S: 1 SPACE PER 3 SEATS (110 SEATS TOTAL)  
 TOTAL PROVIDED PARKING - 49 SPACES (INCLUDES 2 HCP)  
 VEHICLE USE IMPERVIOUS SURFACE AREA - 22,831 SQ. FT.  
 TOTAL SQUARE FEET OF IMPERVIOUS AREA - 32,045 SQ. FT.  
 PROPOSED SITE IMPERVIOUS SURFACE AREA - 60.49%

PLANTING PLAN AND MATERIALS - SEE SHEET 5  
 ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF CARY STANDARDS AND SPECIFICATIONS.

STORM DRAINAGE SCHEDULE

FROM STRUCT No.	TO STRUCT No.	PIPE SIZE	TYPE	LENGTH	INV. IN	INV. OUT	SLOPE %	D.A. (AC.)	Q10 (CFS)
NEW CI #1	NEW CI #2	A 24"	RCP	~24'	454.00	453.80	0.83	0.11	2.81
NEW CI #2	NEW JB #1	B 24"	RCP	~40'	453.60	452.70	2.25	0.14	3.72
NEW CI #3	EX. CI - JB	C 15"	RCP	~22'	452.50	450.00	11.38	0.38	2.34
NEW CI #4	EX. CI - JB	D 15"	RCP	~20'	450.00	449.00	5.00	0.32	2.08

TOTAL DENUDED AREA = 1.06 ACRES

3 GRADING AND DRAINAGE PLAN  
 1" = 20'

GENERAL NOTES

1. MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
3. 1" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING THE GUARD POSTS AT THE DRIVE-THRU WINDOWS TO THE BACK OF CURB WHEN SLIDER WINDOWS ARE BEING INSTALLED IN LIEU OF DOUBLE WINDOWS AS SHOWN ON PLAN, AND MUST BE VERIFIED BY REGIONAL PROJECT MANAGER.
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS (UNLESS OTHERWISE DIRECTED BY REGIONAL CONST. MANAGER). FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
10. CONTRACTOR TO DRILL 3/4" WEEP HOLES IN CONCRETE CURBS AT 8'-0" O.C. WHERE LANDSCAPING IS ADJACENT TO CURB.
11. ALL PROPOSED DIMENSIONS ON SHEET C-1 ARE TO BACK OF CURB. ALL PROPOSED ELEVATIONS ON SHEET C-3 ARE TO TOP OF CURB UNLESS OTHERWISE INDICATED.

PAVING SPECIFICATION - (ON SITE)  
 (MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

PARKING AREAS  
 1" COMPACTED ASPHALT WEARING SURFACE OVER  
 2" COMPACTED ASPHALT BINDER COURSE  
 6" COMPACTED STONE BASE

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATIONS. TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, P.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION:  
 SECURITY LIGHTING ASB 250 WATT METAL HALIDE FIXTURE @ 90' ON 20 FOOT POLE ON 2 FOOT CONCRETE BASE  
 ASB-250-MH-08-MT-W/LAMP  
 GEN. CONTRACTOR TO NOTE CORRECT LOCATIONS OF FIXTURES

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION

TOTAL SPACES	SPACES	9.5' X 18.0'	60'
43	39	9.5' X 18.0'	60'
	2	9.5' X 18.0'	60'

UTILITY INFORMATION

TYPE	SIZE	TYPE	LOCATION
SANITARY SEWER	6"		EAST PARKING EDGE PARALLEL MAYNARD RD
WATER	UNKNOWN		MAYNARD RD
STORM SEWER	16" 18" 24" 60"		THROUGH SITE
ELECTRIC	OVERHEAD		THROUGH SITE
GAS	UNKNOWN		BEST SIDE OF SITE IN PARALLEL ISLAND

SURVEY INFORMATION

PREPARED BY:  
 THOMPSON AND ASSOCIATES, P.A.

DATE: 01-04-99

LEGEND

SYMBOL	DESCRIPTION	ELEVATION
—S—	SANITARY SEWER	
—W—	WATER	
—ST—	STORM SEWER	
—E—	ELECTRIC	
—G—	GAS	
○	LOT LIGHT	LP-30
○	EXISTING ELEVATION	(76.5)
○	PROPOSED ELEVATION	(77.0)

PLAN SCALE: 1" = 20'

STREET ADDRESS  
 869 EAST MAYNARD ROAD

CITY: CARY STATE: NORTH CAROLINA

COUNTY: WAKE

STATUS: PRELIMINARY DATE: 12-10-98 BY: RUM VJH

PLAN CHECKED: --XXX--

AS-BUILT: --XXX--

APPROVED  
 FEB 4-29-99  
 TM 4-29-99

PRELIMINARY IN PROGRESS DRAWING NOT FOR CONSTRUCTION

DB 2280, PG 322

SCALE 1" = 20'

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

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OFFICE: RALEIGH REGION  
 ADDRESS: 3200 BEECHLEAF COURT SUITE 300 RALEIGH, N.C. 27604

DATE: --XX--  
 SIGNATURE (2 REQUIRED): --XX--  
 DEVELOPER TEAM MEMBER: --XX--  
 OPERATIONS DEPT.: --XX--

CO-SIGN SIGNATURES:  
 CONTRACTOR: --XX--  
 OWNER: --XX--