

SEDIMENT BASIN SCHEDULE

SB#	L	W	D	WEIR	STORAGE	D.A.	DENUDED
1	15'	11'	5'	10"	550 cu	0.38 ac	0.34 ac
2	24'	12'	5'	10"	1152 cu	0.81 ac	0.81 ac

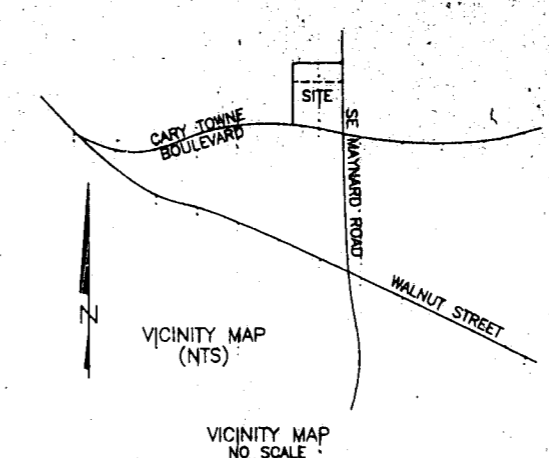
CLEAN ONCE EVERY YEAR, AS REQUIRED OR AS NEEDED INSPECT BASINS AFTER EACH RAINFALL EVENT ALL SEDIMENT-LADEN RUNOFF SHALL BE DIVERTED TOWARDS A BASIN. DEPTH INCLUDES 1 FOOT FREE BOARD.

NOTE:
SEE EXISTING SURVEY FOR INFORMATION ON EXISTING SITE CONDITIONS. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND DEMOLITION OF EXISTING STRUCTURES AND OTHER EXISTING UTILITIES.

PROJECT NARRATIVE:
EXISTING SITE IS TO BE PREPARED TO ALLOW FOR THE CONSTRUCTION OF A NEW McDONALD'S RESTAURANT. SEE EXISTING SITE SURVEY FOR INFORMATION ON EXISTING SITE. SITE IS THEN TO BE GRADED AS SHOWN TO ACCOMMODATE NEW SITE DEVELOPMENT. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ALSO, ALL REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

GENERAL GRADING NOTES
ALL WORK AND MATERIALS SHALL CONFORM TO STANDARDS AND SPECIFICATION OF THE CITY OF CARY.
ALL REQUIRED PERMITS SHALL BE OBTAINED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
THE CITY OF CARY, McDONALD'S PROJECT MANAGER AND APPROPRIATE INSPECTORS SHALL BE NOTIFIED AT LEAST 24 HOURS OR REGULATED NOTICE TIME BEFORE WORK SHALL COMMENCE.
NEW ASPHALT AND CURB & GUTTER TO MATCH ELEVATIONS OF EXISTING ASPHALT AND CURB & GUTTER. NEW CURB & GUTTER ALONG NORTH PARKING AREA TO MATCH ELEVATIONS OF EXISTING CURB & GUTTER.

SITE PLAN KEY NOTES
① 4" THICK CONC. PAD WITH REIN. REBARS SEE SHEET C-1 FOR PLAN FORM.
② VEHICLE DETECTOR LOOP CURB IN PLACE BY G.C.
③ ASPHALT PAVEMENT: SEE FINISH SPECIFICATION.
④ 6" THICK CONC. PAD WITH REIN. REBARS.
⑤ 4" YELLOW STONE/4" RED STONE @ DRIVE THRU SPALL TYPE 3/4" CURB AND GUTTER.
⑥ 4" THICK CONC. WALK.
⑦ HANDICAP SIGN - 118 SLOPED MICHIGAN.
ALL SIGNAGE APPROVALS AND PERMITS SHALL BE OBTAINED FROM THE TOWN OF CARY PRIOR TO PLACEMENT OF SIGNAGE.
SIGN SCHEDULE LOCATED ON DRAWINGS IN ORDER TO MEET McDONALD'S CORPORATION SHEET REQUIREMENTS. SIGN SCHEDULE HAS NO BEARING ON STATUS OF SIGNAGE APPROVAL OR PERMITS.



CURB INLET SCHEDULE

STRUCTURE	D.A. (AC)	TBOC ELEV.	INLET ELEV.	INV. IN	INV. OUT
NEW CI #1	0.11	458.90	458.40	454.18	454.00
NEW CI #2	0.03	458.70	458.50	453.80	458.60
NEW JB #1	TOP OF RIM	459.80	482.70	452.50	452.50
NEW CI #3	0.36	456.00	455.50	-	452.50
NEW CI #4	0.32	454.00	453.50	-	450.00

STRUCTURES TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF CARY.

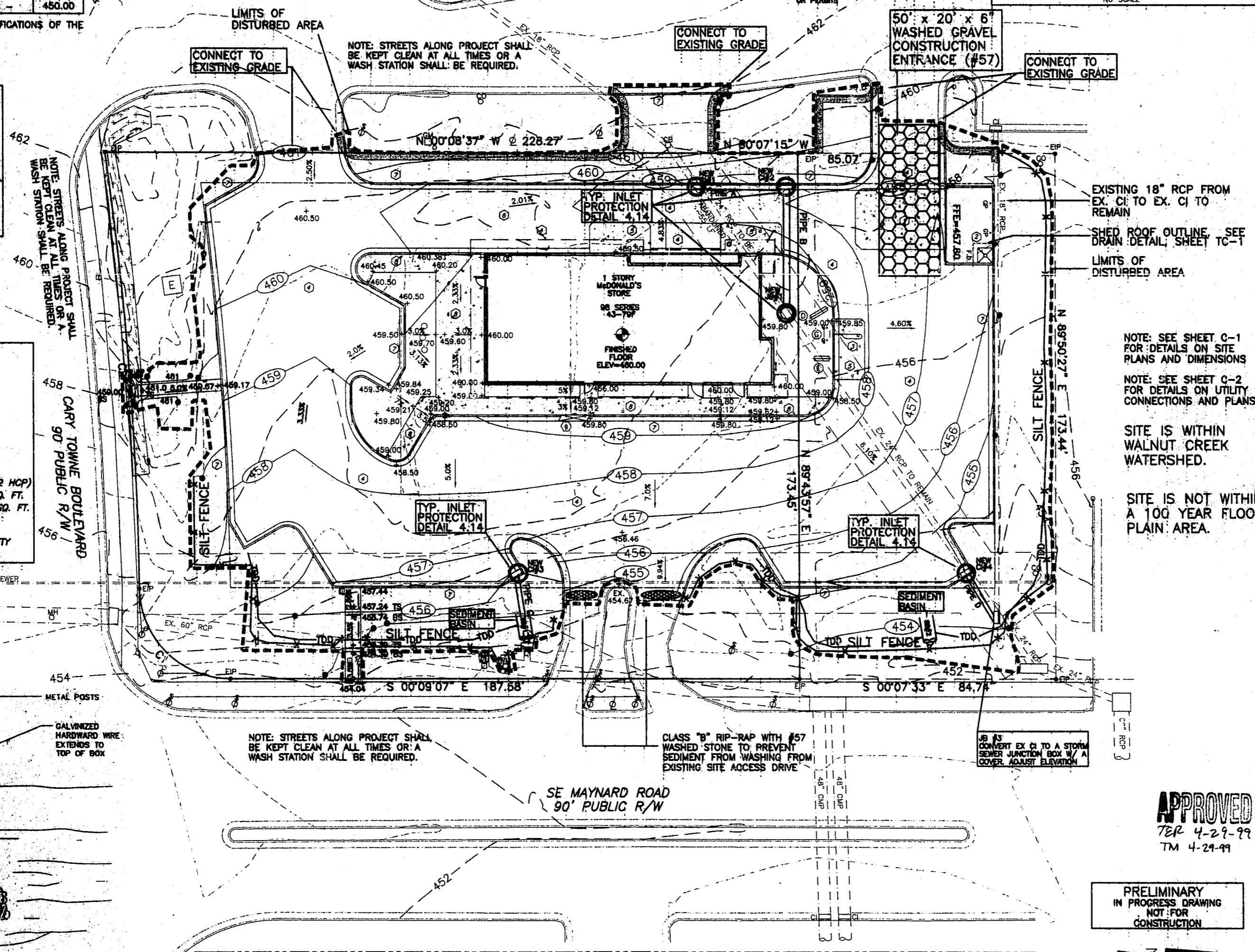
NOTE: A PRE-CONSTRUCTION MEETING MAY BE REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.

CONSTRUCTION SCHEDULE:
1. OBTAIN PERMIT FROM TOWN OF CARY AS REQUIRED.
2. OBTAIN TOWN OF CARY CONSTRUCTION INSPECTOR FOR ALL WORK.
3. VERIFY ALL EXISTING UTILITIES (WATER, GAS, ETC.) AND MARK THEM PRIOR TO CONSTRUCTION.
4. REMOVE EXISTING CURB AND GUTTER FOR ALL SITE CONSTRUCTION.
5. REMOVE EXISTING ASPHALT AND CONCRETE SURFACES.
6. REMOVE EXISTING SIGNAGE AND MARKING.
7. REMOVE EXISTING CONSTRUCTION AND PLUMBING INSTALLATION AS REQUIRED.
8. REMOVE EXISTING ASPHALT AND CONCRETE SURFACES.
9. REMOVE EXISTING ASPHALT AND CONCRETE SURFACES.
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14. REMOVE EXISTING ASPHALT AND CONCRETE SURFACES.
15. REMOVE EXISTING ASPHALT AND CONCRETE SURFACES.

STORM WATER NEEDS TO BE DIVERTED TO SEDIMENT BASINS PRIOR TO INSTALLATION OF CURB AND GUTTER. AFTER INSTALLATION OF CURB AND GUTTER, WATER WILL STILL NEED TO FLOW THROUGH A SEDIMENT BASIN UNTIL SITE IS STABILIZED.

ZONING INFORMATION

ZONING - COMMERCIAL BUSINESS DISTRICT (B-2)
RESTAURANT - CITY OF CARY
USE - RESTAURANT
P.M. - 0723.08-07-0507
BUILDING - 1 STORY (HEIGHT - 17'-6" @ BLDG.)
LOT SIZE - 52,794.72 S.F. (1.21 ACRES)
INCLUDES 0.339 AC LEASED ADJ. PARCEL
BUILDING SQ. FOOTAGE - 3,829 S.F.
REQUIRED PARKING - 37 SPACES
McDONALD'S: 1 SPACE PER 3 SEATS (110 SEATS TOTAL)
TOTAL PROVIDED PARKING - 48 SPACES (INCLUDES 2 HCP)
VEHICLE USE IMPERVIOUS SURFACE AREA - 22,831 SQ. FT.
TOTAL SQUARE FEET OF IMPERVIOUS AREA - 32,048 SQ. FT.
PROPOSED SITE IMPERVIOUS SURFACE AREA - 60,498 SQ. FT.
PLANNING PLAN AND MATERIALS - SEE SHEET 5
ALL WORKING AND MATERIALS SHALL CONFORM TO THE CITY OF CARY STANDARDS AND SPECIFICATIONS.



GENERAL NOTES

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 1" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR RELOCATING THE GUARD POSTS AT THE DRIVE-THRU WINDOWS TO THE BACK OF CURB WHEN SLIDER WINDOWS ARE BEING INSTALLED IN LIEU OF BUBBLE WINDOWS AS SHOWN ON PLAN, AND MUST BE VERIFIED BY REGIONAL PROJECT MANAGER.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS (UNLESS OTHERWISE DIRECTED BY REGIONAL CONST. MANAGER). FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- CONTRACTOR TO CALL 3/4" REEP HOLES IN CONCRETE CURBS AT 8'-0" O.C. WHERE LANDSCAPING IS ADJACENT TO CURB.
- ALL PROPOSED DIMENSIONS ON SHEET C-1 ARE TO BACK OF CURB. ALL PROPOSED DIMENSIONS ON SHEET C-3 ARE TO TOP OF CURB UNLESS OTHERWISE INDICATED.

PAVING SPECIFICATION - (ON SITE)
(MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

PARKING AREAS:
1" COMPACTED 1-2 ASPHALT WEARING SURFACE OVER 2" COMPACTED ASPHALT BINDER COURSE 6" COMPACTED STONE BASE (ABC)

TRAVEL AISLES:
2" COMPACTED 1-2 ASPHALT WEARING SURFACE OVER 8" COMPACTED STONE BASE (ABC)

LOT LIGHTING RECOMMENDATION:
SECURITY LIGHTING ASB 250, WATT METAL HALIDE FIXTURE @ 90' ON 20 FOOT POLE ON 2 FOOT CONCRETE BASE.
ASB-250-MH-DB-MT-W/LAMP
GEN. CONTRACTOR TO NOTE CORRECT LOCATIONS OF FIXTURES

PARKING INFORMATION:

TOTAL SPACES	SPACES	SIZE	TYPE
43	38	9.5' X 18.0'	60'
	2 HANDICAP	9.5' X 18.0'	60'

UTILITY INFORMATION:

TYPE	SIZE	TYPE	LOCATION
SANITARY SEWER	6"		EAST PARKING EDGE
WATER	UNKNOWN		PUBLIC W/ MAYNARD RD
STORM SEWER	16" 18" 24" 60"		THROUGH SITE
ELECTRIC	OVERHEAD		THROUGH SITE
GAS	UNKNOWN		WEST SIDE OF SITE IN CENTRAL ISLAND

SURVEY INFORMATION:
PREPARED BY: THOMPSON AND ASSOCIATES, P.A.
DATE: 01-04-99

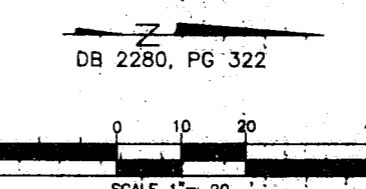
LEGEND:
S - SANITARY SEWER
W - WATER
ST - STORM SEWER
E - ELECTRIC
G - GAS
LP-30 - LOT LIGHT
76.5 - EXISTING ELEVATION
77.0 - PROPOSED ELEVATION

PLAN SCALE: 1" = 20'
STREET ADDRESS: 869 EAST MAYNARD ROAD
CITY: CARY STATE: NORTH CAROLINA
COUNTY: WAKE

STATUS: PRELIMINARY DATE: 12-10-98
PLAN CHECKED: AS-BUILT DATE: ---
BY: ---
DATE: ---

APPROVED
TER 4-29-99
TM 4-29-99

PRELIMINARY IN PROGRESS DRAWING NOT FOR CONSTRUCTION



STORM DRAINAGE SCHEDULE

FROM STRUCT No.	TO STRUCT No.	PIPE SIZE	TYPE	LENGTH	INV. IN	INV. OUT	SLOPE %	D.A. (AC)	Q10 (CFS)
NEW CI #1	NEW CI #2	24"	RCP	~28'	454.00	453.80	0.83	0.11	2.81
NEW CI #2	NEW JB #1	24"	RCP	~40'	453.80	452.70	2.25	0.14	3.72
NEW CI #3	EX. CI - JB C	15"	RCP	~22'	452.50	450.00	11.36	0.36	2.34
NEW CI #4	EX. CI - JB D	15"	RCP	~20'	450.00	449.00	5.00	0.32	2.08

TOTAL DENUDED AREA = 1.06 ACRES

4 EROSION CONTROL PLAN
1" = 20'



STD. No. 4.14

McDonald's

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RALEIGH REGION
OFFICE ADDRESS: 3200 BREWSTER COURT SUITE 300 RALEIGH, N.C. 27604

DATE: ---
SIGNATURE (2 REQUIRED): ---
CO-SIGN SIGNATURES: ---

CONTRACTOR: ---

STATUS: PRELIMINARY DATE: 12-10-98
PLAN CHECKED: AS-BUILT DATE: ---
BY: ---
DATE: ---