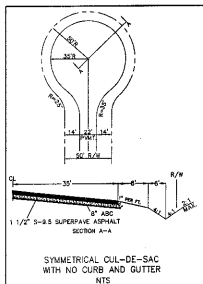




- LEGEND**
- WATER METER
 - SEWER CLEAN-OUT
 - PROPOSED GATE VALVE
 - PROPOSED BLOW OFF ASSEMBLY
 - PROPOSED FIRE HYDRANT ASSEMBLY
 - PROPOSED SANITARY SEWER MANHOLE
 - 10' EASEMENT EACH SIDE OF FIRE HYDRANT (TYPICAL)



NOTE: LIMITS OF FIELD LOCATION ALONG CREEK. BUFFERS FALL WITHIN FEMA 100 YEAR FLOOD HAZARD AREA BEYOND THIS POINT

NEUSE RIVER RIPARIAN BUFFER MEASURED 50' EACH SIDE OF CREEK FROM TOP OF BANK

ACTIVE RECREATIONAL AREA 3.0 ACRES

OPEN SPACE CONSERVATION OF NATURAL HAZARD AREA 52.68 ACRES

NEUSE RIVER RIPARIAN BUFFER MEASURED 50' EACH SIDE OF CREEK FROM TOP OF BANK

30' PERIMETER BUILDING SETBACK

FUTURE TOWN OF CARY LIFT STATION

MANNHOLE COVERS TO BE REPLACED W/ WATER-TIGHT COVERS BE ROAD TYPE
Sherry
 11-18-05

NOTE: UTILITY PLAN ONLY. THIS SUBMITTAL IS NOT CURRENTLY LOCATED WITHIN CARY'S PLANNING JURISDICTION AND DOES NOT COMPLY WITH BASIC SUBDIVISION PLAN REQUIREMENTS. FIRE HYDRANT TO BE LOCATED NO FURTHER THAN 5' FROM THE EDGE OF PAVEMENT AND ON THE STREET SIDE OF THE DITCH.

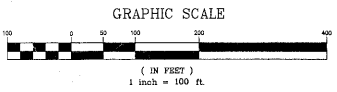
NOTE: CONTRACTOR TO VERIFY EXISTING MANHOLE INVERT AT PUMP STATION PRIOR TO ANY CONSTRUCTION.

- NOTES:**
- PRESENT LAND USE IS WOODED.
 - ALL STREETS WITHIN THE SUBDIVISION SHALL HAVE A MIN. 50' R/W.
 - ALL CUL-DE-SACS WILL HAVE A R.O.W. RADIUS OF 50' AND AN E.O.P. RADIUS OF 35'.
 - ALL STREET INTX. SHALL HAVE A 25' RADIUS ALONG THE R.O.W.
 - ALL STREET INTX. SHALL HAVE A 30' RADIUS ALONG THE E.O.P.
 - ALL STREETS WILL BE PUBLIC AND CONSTRUCTED TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - WATER SYSTEM WILL CONSIST OF TOWN OF CARY.
 - SEWER SYSTEM WILL CONSIST OF TOWN OF CARY.
 - ALL FEDERAL FLOOD HAZARD REGULATIONS WILL BE COMPLIED WITH DURING CONSTRUCTION.
 - ALL STATE AND LOCAL GOVERNMENT APPROVALS SHALL BE SUBMITTED TO THE SUBDIVISION OFFICE BEFORE FINAL PLAT APPROVAL.
 - TOPO TIEINS FROM WAKE COUNTY TOPOGRAPHY MAPS AND SHOULD NOT BE USED EXTENSIVELY FOR DESIGN OR QUANTITY TAKEOFFS.
 - CONTIGUOUS INTERVAL IS 5'.
 - DRAINAGE EASEMENTS SHALL BE PROVIDED FOR ALL AREAS DRAINING 4 ACRES OR 4 LOTS AND SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS AND ON THE FINAL PLAT. AFTER SUCH AREAS CAN BE DETERMINED AND HAVE BEEN FIELD VERIFIED, BOUNDARY INFORMATION TAKEN FROM COUNTY TAX MAP, ACTUAL BOUNDARY SURVEY IN PROGRESS BY THIS OFFICE.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WAKE COUNTY SEDIMENT AND EROSION CONTROL ORDINANCE.
 - ALL STORM CROSS DRAINAGE PIPES SHALL BE DESIGNED TO HANDLE THE 25 YEAR STORM.
 - ALL STORM DRAINAGE PIPES SHALL HAVE A F.E.S. AT THE OUTLET.
 - ALL STORM DRAINAGE PIPES SHALL HAVE AN ENERGY DISSIPATOR AT THE OUTLET.
 - A FLOOD STUDY WILL BE PERFORMED TO ELIMINATE FLOOD HAZARD SPOTS.
 - NO LOTS WILL HAVE DIRECT ACCESS TO "PARKWAY ROAD".
 - ALL OPEN SPACE TO BE DEDICATED TO A HOME OWNERS ASSOCIATION.

- GENERAL UTILITY NOTES:**
- ALL WORK PLACEMENT, LOCATION, INSTALLATION, AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION ABOVE AND BELOW GROUND OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION ABOVE AND BELOW GROUND OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING UTILITIES WITH THE APPROPRIATE AUTHORITIES.
 - CONTRACTOR SHALL INFORM THE TOWN OF CARY AND THE ENGINEER OF ANY CONFLICTING UTILITIES.
 - ELECTRIC SERVICE TO THE BUILDING SHALL BE COORDINATED WITH THE APPROPRIATE ELECTRICAL SERVING AUTHORITY.
 - TELEPHONE SERVICE TO THE BUILDING SHALL BE COORDINATED WITH THE APPROPRIATE TELEPHONE SERVING AUTHORITY.
 - NATURAL GAS SERVICE, IF ANY, TO THE BUILDING SHALL BE COORDINATED WITH THE APPROPRIATE TELEPHONE SERVING AUTHORITY.
 - ALL NEW UTILITY SERVICES SERVING THIS SITE ARE TO BE INSTALLED UNDERGROUND.
 - ESTIMATED AVERAGE DAILY FLOW FOR THE SEWER USE IS 45 LOTS x 200 GPD = 12,000 GPD.
 - PROVIDE AIR RELEASE VALVES AT ALL HIGH POINTS OF THE WATER MAIN.

- GENERAL PROJECT NOTES**
- ALL WORK AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE WAKE COUNTY, NCDOT AND TOWN OF CARY TO REFER TO DURING CONSTRUCTION OF THE PROJECT.
 - CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT STANDARDS AND SPECIFICATIONS OF WAKE COUNTY, NCDOT AND TOWN OF CARY TO REFER TO DURING CONSTRUCTION OF THE PROJECT.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITIES IN THE AREA PRIOR TO CONSTRUCTION AND COORDINATE THE RELOCATION OF THESE UTILITIES WITH THE APPROPRIATE AUTHORITIES.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WAKE COUNTY SEDIMENT AND EROSION CONTROL ORDINANCE.
 - ALL STREET CONSTRUCTION SHALL BE IN ACCORDANCE WITH WAKE COUNTY AND THE NORTH CAROLINA DEPT. OF TRANSPORTATION.
 - ALL SEWER AND WATER UTILITIES MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARD SPECIFICATIONS AND DETAILS.

05-SB-012-A
 APPROVED
 TOWN OF CARY
 Approved by: [Signature] Date: 10/21/05
 Planning: [Signature] Date: 10/21/05
 Engineering: [Signature] Date: 10/21/05

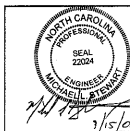


SITE DATA - SF2

- NO. LOTS	31
- AVERAGE LOT SIZE	8,449 SF
- AREA OF STREET	0.54 AC.
- LINEAR FEET OF STREET	469 L.F.
- REQUIRED TRACT SIZE	14.23 AC.
- REQUIRED OPEN SPACE	1.42 AC.

SITE DATA (TOTAL)

- TOTAL ACREAGE	121.06 AC.
- TOTAL NUMBER OF LOTS	262
- AREA IN OPEN SPACE	48.46 AC.
- PERCENT IN OPEN SPACE	40.0%
- RECREATIONAL AREA	3.0 ACRES
- MIN. LOT SIZE ALLOWED	6,000 SF
- MIN. LOT SIZE SHOWN	6,000 SF
- AVERAGE LOT SIZE	9,096 SF
- AREA IN STREETS	14.89 AC.
- LINEAR FEET IN STREETS	12,972 LF



STEWART-PROCTOR, PLLC
 ENGINEERING and SURVEYING
 319 CHAPANOKE ROAD SUITE 106
 RALEIGH, NC 27603
 TEL. 919 778-1855 FAX 919 778-1661

DATE: 05-25-04 SURVEYED BY: [Signature]
 SCALE: 1"=100' DRAWN BY: [Signature]
 REVISIONS: [Table]

UTILITY PLAN FOR
**THE PARK AT WESTLAKE
 THE HERITAGE PHASE 2 -SF2**
 (A CLUSTER SUBDIVISION)

MIDDLE CREEK TOWNSHIP NORTH CAROLINA
 WAKE COUNTY OWNER: WINSLOW PROPERTIES
 ZONED R-20 P.L.N. 0679.01-35-0035