

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CARY AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLANS.
- THE 50' UNDISTURBED BUFFER ADJACENT TO THE US ARMY CORPS OF ENGINEERS (USACOE) PROPERTY IS A PART OF THE PERMANENT OPEN SPACE AND NOT PART OF LOTS. UTILITIES (SUCH AS SANITARY SEWER) MAY BE LOCATED WITHIN THIS BUFFER PER APPROVED AMBERLY PUD.
- STREAM BUFFERS AND WETLAND AREAS WERE DELINEATED BY S&EC, INC AND MAPPED BY KENNETH CLOSE, INC, "WETLAND DELINEATION MAP FOR AMBERLY PUD", DATED 7/28/02, REVISED 1/18/02. THE DELINEATION MAP HAS BEEN APPROVED BY THE US ARMY CORPS OF ENGINEERS AND INCLUDES RIPARIAN BUFFERS CONFIRMED BY THE TOWN OF CARY.
- EASEMENTS THROUGH UNITED STATES OF AMERICA LAND ARE FROM "EASEMENT MAP OF B. EVERETT JORDAN DAM AND RESERVOIR PROJECT, AMBERLY OUTFALL, EASEMENT NO. DACW21-2-97-1602" PREPARED BY KENNETH CLOSE, INC, RALEIGH, NC AND DATED 11/13/96.
- TOPOGRAPHIC INFORMATION FOR THE AMBERLY ROAD INFRASTRUCTURE ARE FROM FIELD SURVEY BY CHAS H SELLS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE LATEST EDITION OF MUTCD.
- THE CONTRACTOR, TO THE MAXIMUM EXTENT POSSIBLE, SHALL NOT REMOVE LARGE SPECIMEN TREES AT THE EDGES OF THE EASEMENTS, AND MINIMIZE DAMAGES TO TREES AT THE EDGES OF THE CONSTRUCTION CORRIDOR.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL/DEMOLITION OF ALL EXISTING BUILDINGS, FOUNDATIONS, FENCE, DRAINAGE PIPING WITHIN THE REQUIRED CLEARING LIMITS, UNLESS NOTIFIED BY OWNER OR ENGINEER. DISPOSE ALL CONSTRUCTION DEMOLITION DEBRIS IN APPROVED LANDFILL.
- ALL REINFORCED CONCRETE STORMWATER PIPING SHALL BE CLASS III UNLESS OTHERWISE SPECIFIED.
- ALL STORM DRAIN FRAMES AND GRATES SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH TOWN OF CARY STANDARDS.
- NO TREE SHALL BE PLANTED WITHIN PUBLIC RIGHTS-OF-WAY OR WITHIN FIVE (5) FEET OF A PUBLIC SIDEWALK OR STREET CURB.
- LANDSCAPE MAINTENANCE WITHIN STREET RIGHTS-OF-WAY, INCLUDING MEDIANS AND ISLANDS, SHALL BE THE RESPONSIBILITY OF PROPERTY OWNERS, PROPERTY ASSOCIATIONS OR THEIR ASSIGNEES IN PERPETUITY.
- 100 YEAR FLOOD ELEVATION IN THE PORTION OF THE PROJECT WAS ESTIMATED TO BE 246 BASED ON LAKE JORDAN DESIGN INFORMATION

CLEARING:

CLEARING ON THIS PROJECT SHALL BE PERFORMED TO THE LIMITS ESTABLISHED BY METHOD II.

BERM DITCHES:

BERM DITCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. NO. 240.01 AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

STREET RETURNS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. NO. 848.04 USING THE RADII NOTED ON PLANS.

WHEELCHAIR RAMPS:

THE CONSTRUCTION OF ALL WHEELCHAIR RAMPS SHALL BE IN ACCORDANCE WITH STD. NO. 848.05.

UTILITY NOTES

- DIP WATER MAIN PIPING UP TO 12-INCHES IN DIAMETER SHALL BE CLASS 350. DIP SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C150 AND AWWA C151. FITTINGS SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C153. PIPE JOINTS CONFIRM TO AWWA C111.
- THE TOPS OF ALL AIR RELEASE MANHOLES FOR THE WATER LINE SHALL BE INSTALLED TO 1 FT ABOVE FINISHED GRADE AT LOCATIONS OUTSIDE THE SIDEWALK AREA. TOPS OF AIR RELEASE MANHOLES LOCATED IN THE SIDEWALK AREA SHALL BE INSTALLED AT FINISHED GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES AND REPORT CONFLICTS TO ENGINEER BEFORE CONSTRUCTION. CALL THE NC ONE CALL CENTER AT 1-800-632-4949.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL EXISTING PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- MINIMUM UTILITY SEPARATIONS:
18" VERTICAL CLEARANCE FROM TOP OF GRAVITY SEWER TO BOTTOM OF EXISTING WATERLINES
12" VERTICAL CLEARANCE FROM TOP OF GRAVITY SEWER TO BOTTOM OF EXISTING STORM DRAINAGE
MINIMUM 10' HORIZONTAL SEPARATION BETWEEN GRAVITY AND EXISTING UTILITIES
- ALL CONTRACTORS TO COORDINATE ALL CONSTRUCTION ACTIVITIES AND UTILITY RELOCATION/INSTALLATION WITH UTILITY OWNERS.
- ALL PRIVATE UTILITIES (TELEPHONE, CABLE, GAS, POWER) TO BE INSTALLED BETWEEN BACK OF CURB AND RIGHT OF WAY LINE.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT PROGRESS ENERGY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.
- ALL UTILITY CASTINGS TO HAVE THE TOWN OF CARY EMBLEM CASTED ON LID.

SAFETY PROVISIONS:

- THE CONTRACTOR SHALL COMPLY WITH "NORTH CAROLINA OCCUPATIONAL SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY", 29 CFR PART 1926 AND PART 1910. PARTICULAR REFERENCE IS MADE BUT NOT LIMITED TO SUBPART P - EXCAVATIONS.
- SLOPING, BENCHING, OR TRENCH WALL SUPPORTS FOR EXCAVATIONS GREATER THAN 20-FEET IN DEPTH SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

Property Data

Property Owner: GS Carolina, LLC
11600 North Community House Road, Suite 200
Charlotte, NC 28277

ZONING: AMBERLY PUD DOCUMENT

WAKE PIN: 0725-31-8749
CHATHAM PIN: 7253-23-9931

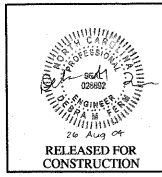
Project is located in Cape Fear River Basin
Jordan Lake Watershed

PROJECT DATA TABLE	Phase I-A	Phase I-C	Phase II-A	Phase II-C	Phase II-E	New Hope Church Road Widening/Realignment
All Roads	Roadways: 4,069 LF Sidewalk: 5,910 LF	Roadways: 1,550 LF Sidewalk: 1,975 LF	Roadways: 1,725 LF Sidewalk: 3,450 LF	Roadways: 1,125 LF Sidewalk: 2,250 LF	Roadways: 1,438 LF Sidewalk: 1,076 LF	Disturbed Area: 2.60 acres Roadway: 2,389 LF
Disturbed Area: 59.90 acres	Water Line 6-inch: 758 LF	Water Line 8-inch: 1,600 LF	Water Line 8-inch: 1,025 LF	Water Line 8-inch: 1,125 LF	Water Line 6-inch: 391 LF	Sidewalk: 2,389 LF
Roadways: 17,500 LF	Water Line 8-inch: 1,836 LF	Sanitary Sewer 8-inch: 1,644 LF	Water Line 12-inch: 750 LF	Sanitary Sewer 8-inch: 1,154 LF	Water Line 8-inch: 1,096 LF	Water Line 8-inch: 1,442 LF
Sidewalk: 26,797 LF	Water Line 12-inch: 1,625 LF		Sanitary Sewer 8-inch: 1,672 LF		Sanitary Sewer 8-inch: 1,512 LF	Water Line 12-inch: 900 LF
Water Line 6-inch: 2,091 LF	Sanitary Sewer 8-inch: 5,509 LF					
Water Line 8-inch: 8,472 LF						
Water Line 12-inch: 7,298 LF						
Sanitary Sewer 8-inch: 20,108 LF						
	Phase I-B	Phase I-D	Phase II-B	Phase II-D		Off-site water (Yates Store Rd.)
	Roadways: 2,275 LF	Roadways: 1,190 LF	Roadways: 2,510 LF	Roadways: 1,618 LF		Water Line 12-inch: 1,945 LF
	Sidewalk: 4,550 LF	Sidewalk: 1,190 LF	Sidewalk: 4,096 LF	Sidewalk: 2,300 LF		
	Water Line 8-inch: 50 LF	Water Line 8-inch: 1,240 LF	Water Line 6-inch: 512 LF	Water Line 6-inch: 430 LF		
	Water Line 12-inch: 2,225 LF	Sanitary Sewer 8-inch: 1,887 LF	Water Line 8-inch: 325 LF	Water Line 8-inch: 175 LF		
	Sanitary Sewer 8-inch: 2,488 LF		Water Line 12-inch: 1,723 LF	Water Line 12-inch: 975 LF		
			Sanitary Sewer 8-inch: 2,452 LF	Sanitary Sewer 8-inch: 1,790 LF		

03-SB-012
APPROVED
TOWN OF CARY

Approved by *DC* Date *8-27-04*
Planning *DS* Date *8-27-04*
Engineering *TE* Date *8-27-04*

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The Peninsula at Amberly
Yates Store Road - Cary, NC

REVISIONS	
1/5/04	REVISED PER TOC COMMENTS
2/23/04	REVISED PER TOC COMMENTS
4/5/04	REVISED PER TOC COMMENTS
PROJECT # 03423	DATE: 11/05/03
DRAWN BY: SLS	CHECKED BY: JBR
TITLE GENERAL NOTES SHEET 1	
SHEET	
C0.1.1	

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