

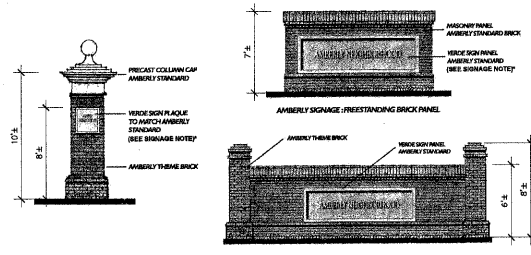
NEIGHBORHOOD ENTRANCE LANDSCAPE STANDARDS

Entry Features and Signage

Dimension and Location:
The entrance to each of Amberly's neighborhoods will be identified with a sign. Each sign must be included within a brick wall feature with optional columns and complementary plantings. A sign may be included on a free-standing brick monument, however, the monument must be part of an entrance design that includes walls and optional columns. The signs shall be constructed of the material shown and shall not exceed the permitted sizes and heights allowed by the Town of Cary.

Wall and Signage Material:

Neighborhood entry walls shall be constructed of the same standard Amberly brick that has been selected as the theme brick overall for the development. Sign panels shall be of a simulated verde bronze finish applied over urethane backing or similar. Sign sizes and heights shall not exceed those allowed by the Town of Cary. All walls and signs are subject to approval by the Amberly Design Review Board.



Incorporation of Builder Logo:

Builder logos shall not be allowed on entrance signs. Additional lines of text such as a "builder name" community shall not be allowed. Sales or contact information such as contact names, telephone numbers, prices, hour of operations or other promotional information shall not be permitted. Such signage shall be in accordance with a master marketing signage program for the project and shall be displayed separately on approved marketing signage area shall be planted with seasonal material such as annuals and bulbs.

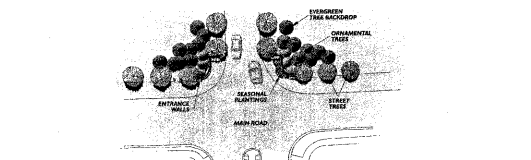
Landscape Plantings For Entry Feature Areas

General Requirements:
All landscape plantings shall conform in species, size, quantity and quality to the requirements included in the landscape material section of these guidelines. Final design and final installation of each neighborhood entry features shall be approved by the DRB.

Signage Plantings:

The entrance feature of each neighborhood shall be planted to differentiate it from the surrounding landscape and to highlight the location and appearance of the sign. Ornamental trees providing spring or summer flower color and good fall color shall be planted in the entrance areas. In addition, evergreen trees or tree-form shrubs such as hollies or magnolias shall be planted as a backdrop to serve as year round interest or may be substituted for the ornamental trees.

An area at least 8 feet in depth from the face of the sign toward the adjacent street shall be planted with shrubs and/or groundcover. An area with a minimum size of 80 square feet and located within the sign area shall be planted with seasonal material such as annuals and bulbs.



Median Plantings:

Where median exist that go into neighborhoods they shall be planted with decorative groupings of ornamental or evergreen trees or tree-form shrubs to match those at the neighborhood entry sign. The first 50 feet of median, measured from the median nose, shall be intensively planted with trees, shrubs, and groundcover in a manner similar to the signage planting in order to highlight the neighborhood entry. Each median shall also incorporate at least one area of seasonal material to be located near the front nose of the median.

Lighting for Entry Feature Areas

Each neighborhood entry feature shall be illuminated to assist residents and visitors in way-finding and to provide a welcoming and attractive nightscape.

- CP&L Masterpiece series street lighting shall be located flanking the entrance way to the neighborhood (i.e. one on either side of the road way). The fixtures shall be those selected for the Amberly development.
- Signage light fixtures shall be selected to illuminate the sign face only, without stray light or light pollution; and shall be line voltage or low voltage but shall be in-grade or located so that they are not visible from the roadway.
- Ornamental trees and/or evergreen trees at the entry feature or in a median shall be lit with at least two up-lights per tree.

INDIVIDUAL LOT LANDSCAPE STANDARDS

Statement of Design Intent

As stated in the "General Principles of Landscape Design for Amberly", in order to insure that the visual qualities of the community are maintained, all changes to the exterior portions of a lot including new construction, architectural renovations, installation of ancillary structures, changes to major plantings such as street plantings and entrances, all irrigation and sod, and all other landscape site work must be reviewed and approved by the Design Review Board.

Home Siting Criteria:

Generally, site plans shall comply with three major principles: preserve natural drainage patterns, create or maintain a natural-looking topography, and retain existing vegetation as much as possible. The site shall be developed in a manner consistent with the natural drainage flow and designed to meet the drainage and nitrogen reduction requirements of the Town of Cary. Site grading shall maintain a natural appearance with smooth transitions between grades and graceful contours. A minimum pitch overlaid of 2% is required for all areas.

All drainage must be reviewed and approved by the DRB. Drainage will be reviewed on an individual site or lot basis and all plans shall be submitted showing the location of the drains, the output area and the nearest inlet or catch basin. Reasonable efforts shall be made to save groups of trees rather than individuals or very small stands (in area). It is understood that due to the high level of development, site clearing and regrading will eliminate large areas of trees. However, if a lot contains mature or desirable trees reasonable efforts should be made to have the architecture respond to this environment.

General Requirements for Landscape Plantings:

In addition to the street tree or streetcape planting requirements of the equivalent of one deciduous shade tree for every 50 linear feet of roadway, the front yard of each home lot, townhouse or multi-family building shall contain additional material as specified in the specific criteria for each home type. This in no way eliminates or reduces the requirements of the Town of Cary code.

Plant beds shall be laid out to flow in curvilinear lines, not straight lines, and plantings shall be massed in groupings whenever possible. Planting beds shall not be designed or laid out in straight lines at the foundation of the dwelling unit so that they appear to be ringing the dwelling unit in a "straight jacket" fashion. The use of only one plant (monoculture) as well as too many different plants (over-diversification) is discouraged. Within a neighborhood, repeated use of a select plant palette is desirable. All bed layouts and planting plans must be submitted and approved by the DRB.

All plantings, including lawns, shall be selected for their adaptability to drought conditions. Plants should be selected from the approved plant list. Plants not on this list may be acceptable, but must be approved by the DRB prior to installation. All plants shall conform to the latest edition of the American Standards for Nursery Stock and shall be installed in accordance with landscape specifications.

SPECIFIC CRITERIA FOR EACH HOME TYPE

General Requirements

- Rear Yards:**
Rear yards shall meet the requirements outlined under "special conditions" at the end of this chapter.
- Corner Lots:**
Corner side yards of any dwelling type must meet the requirements laid out for front yards. Plant beds shall be laid out to flow in curvilinear lines and plantings shall be massed. Any HVAC units or other utilities shall be fully screened from the street with fencing or plantings. All layouts for side/corner lot plantings shall be submitted to the DRB for review prior to installation. The layout must indicate the location of above-ground utilities and mechanical units.

Single Family Detached Homes

Required Plantings:
A minimum plant quantity shall be required for each lot, however in order to meet the requirements laid out under "General Requirements" of the Individual Lot Landscape Standards no actual numbers of plants are recommended due to the varying lot sizes and conditions. The developer of any neighborhood shall submit guidelines to the DRB for planting based on the criteria established in the "General Requirements". The DRB may require additional plantings on a lot or within a development if it does not meet the visual and aesthetic parameters outlined. Lots 60' in width across the street frontage shall have at least 1 shade tree and one ornamental tree in the front yard.

Lots larger than 50' in width must meet the general spacing requirement of 1 tree for every 50 linear feet of roadway. That may mean that some lots may have more than one tree. Lots less than 60' in width must have a minimum of one ornamental tree in the front yard, preferably near the house if that lot does not contain a shade tree. Plant beds shall be laid out in curvilinear beds as opposed to straight lines around the dwelling. In addition, any requirements in the Town of Cary code must be met. Installed plants shall meet a minimum plant size of 3 gallon for shrubs, 4" caliper for street and front yard shade trees, 8" height for ornamental trees, 7-8" height for evergreen trees, and 2.25" pot for groundcovers. Plants should be selected for their adaptability to the local soils and should be drought tolerant unless an irrigation system is installed. It is recommended that the lawn type of choice be a warm season grass such as a Bermuda hybrid, Zoysia, or Centipede.

No more than 75% of all pervious surfaces in the front yard shall be lawn. At least 25% of all pervious surfaces in the front yard shall be planting beds comprised of grouped plantings of trees, shrubs, ornamental grasses, and groundcovers.

Specific Required Planting Standards (Town of Cary Appearance Standards):

- Existing vegetation shall be maintained to the maximum extent possible.
- After dwelling construction, each lot shall have the following required planting:
 - Large Trees (one in the front yard, one in the rear yard): Mature size = 40'-60' H/Planted size = 2" cal.
 - Small Trees (one in the front yard, one in the rear yard): Mature size = 15'-40' H/Planted size = 2" cal.
 - Large Shrubs (near foundation): Mature size = 5'-8' H/Planted size = 30" H
 - Small Shrubs (near foundation): Mature size = 2'-4' H/Planted size = 20" H
- These are minimum requirements; additional planting is encouraged.
- Existing vegetation or planting shall be preserved and/or provided where rear yards back up to one another or are visible from other rear yards or streets. This existing and/or installed landscape shall meet or exceed the planting criteria for a Type 'B' Semi-Opaque Buffer.

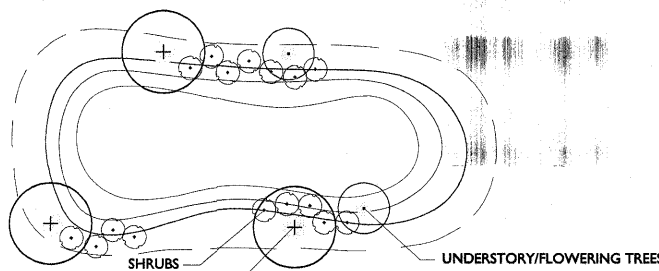
NEIGHBORHOOD STREETS - LANDSCAPE STANDARDS

BOTANICAL NAME	COMMON NAME	MAT. SIZE	MIN. CAL.	COMMENTS
Acer rubrum 'October Glory'	Hopla, October Glory	35'-40'	4"	one tree round head, brilliant orange to red fall color
Acer rubrum 'Red Sunset'	Hopla, Red Sunset	30'-40'	4"	one, round with var. fall color from yellow to red
Acer buergerianum	Hopla, Trident	35'	4"	very tolerant of urban conditions
Acer saccharum	Hopla, Sugar - Lacy Green Mountain	45'-50'	4" (need to spruce)	
Carpeus betulae 'Fastigiat'	European Hornbeam	30'-40'	4"	
Magnolia grandiflora 'Alta'	Magnolia, Alta Southern	30'x55'	1 1/2"-12" ht	large with flowers thru early summer, evergreen
Magnolia grandiflora 'Claudia Winnemaher'	Magnolia, Claudia Winnemaher	30'x45'	11"-12" ht	well-drained soil, spr. transplants, when flowers, evergreen
Magnolia grandiflora 'D.D. Blanchard'	Magnolia, D.D. Blanchard	30'x45'	11"-12" ht	prefers deep rich moist soil
Quercus lyrata	Oak, Overcup	40'x45'	4"	adapt well to poor sites
Quercus laevis	Oak, Laurel	40'x50'	4"	more tolerant of heavy soils and slow drainage than many other oaks
Quercus lyrata 'Nightsan'	Oak, Nightstem Overcup	55'x50'	3.25"	uniform, slow development leader
Quercus marshallii	Oak, Nivalis	40'x70'	4"	one, scarlet red color in fall, similar to yellow but more Q. shumerae
Quercus phellos	Oak, Willow	30'x55'	4"	fast growing, easy to transplant, prefers acid soil
Quercus phellos 'Hightower'	Oak, Hightower Willow	30'x55'	3.5"	
Quercus shumardii	Oak, Shumard	60'	4"	one, scarlet red color in fall
Ulmus parvifolia 'Alice'	Elm, Alice Lacebark	50'x75'	4"	attractive specimen tree
Ulmus parvifolia 'Boopis'	Elm, Boopis Lacebark	40'x45'	4"	easy to maintain central leader

EACH NEIGHBORHOOD STREET SHALL HAVE A MINIMUM OF ONE NEWLY PLANTED SHADE TREE FOR EACH 40' LINEAR FEET (CURBSIDE); THIS REQUIREMENT MAY BE WAIVED IF SIGNIFICANT VEGETATION IS RETAINED BETWEEN THE STREET AND PROPOSED HOUSE.

*CALIPER SIZE MAY BE REDUCED DUE TO AVAILABILITY; HOWEVER, SPECIES MUST BE UNIFORM FOR EACH STREET OR SECTION OF STREET AND IN NO CASE SHALL TREES BE LESS THAN 2" CALIPER BY 8' TALL.

STORMWATER MANAGEMENT DEVICES - LANDSCAPE STANDARDS



A MINIMUM OF 10% OF THE SURFACE AREA SHALL BE INCORPORATED INTO LANDSCAPED AREAS FOR SCREENING OR ENHANCEMENT AND SHALL CONSIST OF AT LEAST THREE (3) AREAS. SEE PLANT LIST FOR SPECIES. (NOTE: 100% OF THE AREA SHALL BE ESTABLISHED IN GRASS COVER, TURF, OR OTHER APPROPRIATE PERENNIAL COVER OR MULCHED AREAS).

PLANTS FOR ENHANCING OR SCREENING STORMWATER MANAGEMENT DEVICES

PLANT TYPE	BOTANICAL NAME	COMMON NAME	MAT. SIZE	MIN. CAL.	COMMENTS
A.L.G. MAT. TREE	Acer rubrum	Hopla, Red Blotch, Flame	40'-60'	1 sun	red maple in yards, cultivars give improved fall color
A.L.G. MAT. TREE	Acer rubrum 'Bowler'	Hopla, Bowler	25'	1 sun	fastigate
A.L.G. MAT. TREE	Quercus bicolor	Oak, Swamp White	50'-60'	1 sun	rounded, freetides
A.L.G. MAT. TREE	Salix babilonica	Willow, Weeping	30'-40'	1 sun	weep, wetland
A.L.G. MAT. TREE	Thuodum distichum	Cypress Ball	60'-65'	1 sun	deciduous conifer, feathery foliage, red in fall
C.SHRUB	Stemodia 'Anthony Wasser'	Spiraea, Anthony Wasserer	2'-4'	1 sun	soil tolerant, deep carmine-pink flowers in late spring
E.GRASS	Micanthia stans 'Purplecrisp'	Red Silver Grass	3'-4'	1 sun	probably an annual here, red leaves, plant in spring
E.GRASS	Micanthia stans 'Gracillima'	Hollow Grass	5'-8'	1 sun	Oak, (over red inflorescence good in winter plant in spring
A.L.G. MAT. TREE	Platanus occidentalis	Sycamore, Eastern	60'-75'	2 sun, semi-sun	white bark seen in winter, unshed disease problems
C.SHRUB	Wax Myrtle		10'-12'	2 sun, semi-sun	basic screen, yellow green leaves, soil tolerant
C.SHRUB	Veriburnum 'Roserae'	Verbenaum, European Snowball	8'-12'	2 sun, semi-sun	white flower balls in May, deciduous, maple leaf
C.SHRUB	Itea virginica	Sweetspire	8'	2 sun, semi-sun	dark red leaves, fragrance flowers, May-June, non-descript, native, may sucker
B.S.M. MAT. TREE	Halesia carolina	Silverbell, Carolina	30'-40'	3 sun-shade	Understory tree, wk. bell shaped flowers, pH 5.0-6.0
A.L.G. MAT. TREE	Magnolia virginiana	Magnolia, Sweet Bay	25'-60'	4. Shade tolerant	well-drained soil, spr. transplant, white flowers, evergreen
B.S.M. MAT. TREE	Cornus caroliniana 'Fastigiat'	Hornbeam "HURBANS"	35'-40'	4. Shade tolerant	formal, vertical look, native, natural, transplant young plants
B.S.M. MAT. TREE	Amelanchier canadensis	Serviceberry	6'-20'	4. Shade tolerant	delicate, dainty, natural native
B.S.M. MAT. TREE	Chionodoxa virginiana	Fringe Tree	12'-20'	4. Shade tolerant	well drained acid soil, yellow fall color

PLANTS FOR BIORETENTION AREAS (PARTIAL LIST)

BOTANICAL NAME	COMMON NAME	SPACING
Cephalanthus occidentalis	Butterbush	6'
Verbenaum dentatum	Arrowwood	4'
Cornus florida	Flowering Dogwood	6'
Quercus michauxii	Swamp Chestnut Oak	6'
Iris Shrevei	Blue Flag Iris	2'
Panicum virgatum	Panicum Weed	2'
Janusia effusa	Soft Touch	2'
Sagittaria latifolia	Broad-leaved Arrowweed	2'
Scirpus validus	Softstem Bulrush	2'
Andropogon gerardii	Big Bluestem	36.00 oz/cwt
Panicum virgatum	Switchgrass	6.00 oz/cwt



JERRY TURNER & ASSOCIATES, INC.
Landscape Architecture
Land Planning
Environmental Design

395 Jones Franklin Road
Raleigh, North Carolina 27606
(919) 851-7150 fax (919) 851-7947

277 S.E. 5th Avenue
Delray Beach, Florida 33463
(561) 276-0453 fax (561) 272-7593

THE PENINSULA
AT AMBERLY
CARY, NORTH CAROLINA

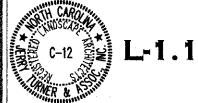
FORMERLY
AMBERLY PUD
SF-2 & SF-3

- 1/5/04
- 2/23/04
- 4/5/04
- 5/14/04
- 6/21/04
- 7/19/04

1"=100'
11/03/03

LANDSCAPE PLAN
(DETAILS/STANDARDS)

2072.02
SHEET NO.



03-SB-012
APPROVED
TOWN OF CARY

Approved by [Signature] Date 8-27-04
Planning [Signature] Date 8-27-04
Engineering [Signature] Date 8-27-04