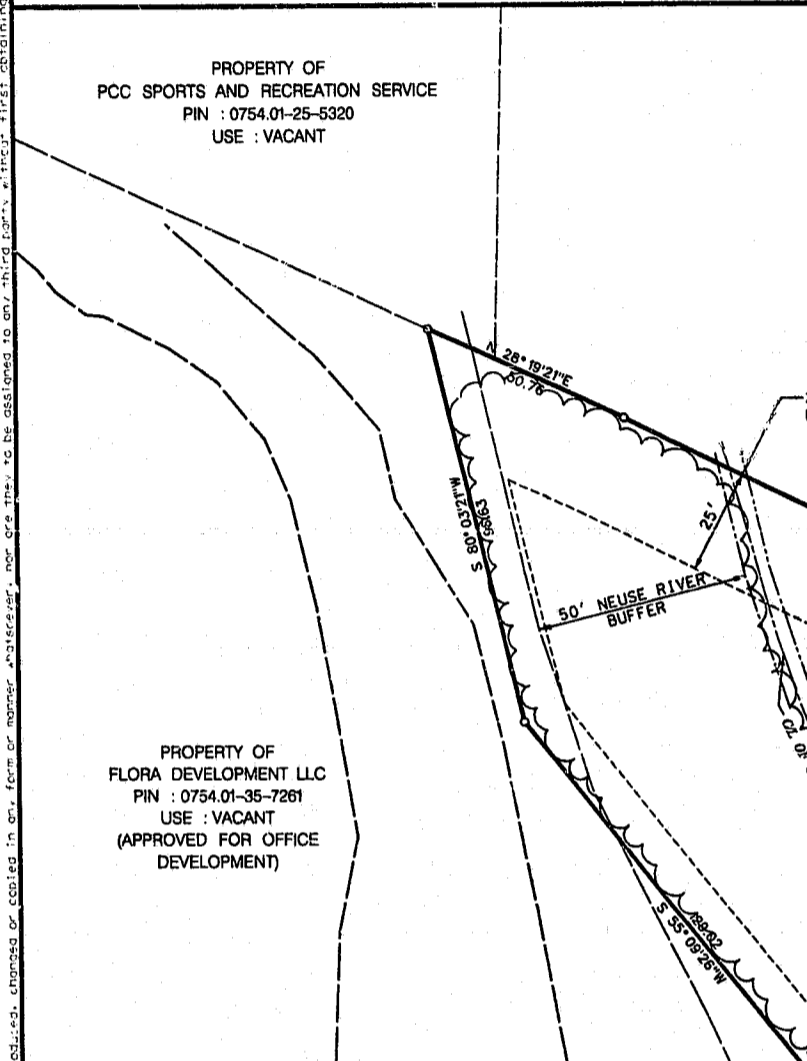


VICINITY MAP (1" = 500')



FINAL CONDITIONS:

B-2 CU
 1) Access: Primary access off James Jackson Avenue (Limited to 3 access points - spaced a minimum of 400 feet measured center line to centerline). Right in - right out to Cary Parkway.

2) Greenway: We will provide a 50 foot wide greenway along the existing sanitary sewer easement along Cole's Branch from the project eastern property line to the proposed Cary Parkway extension. At that point, the greenway would tie to the sidewalk along Cary Parkway and would tie to the system in Morrisville. We will provide an easement on both sides of the Parkway to enable to greenway path to tie to the sidewalk. The above would result in an at grade crossing where a signal is anticipated at the intersection of Cary Parkway and James Jackson Avenue.

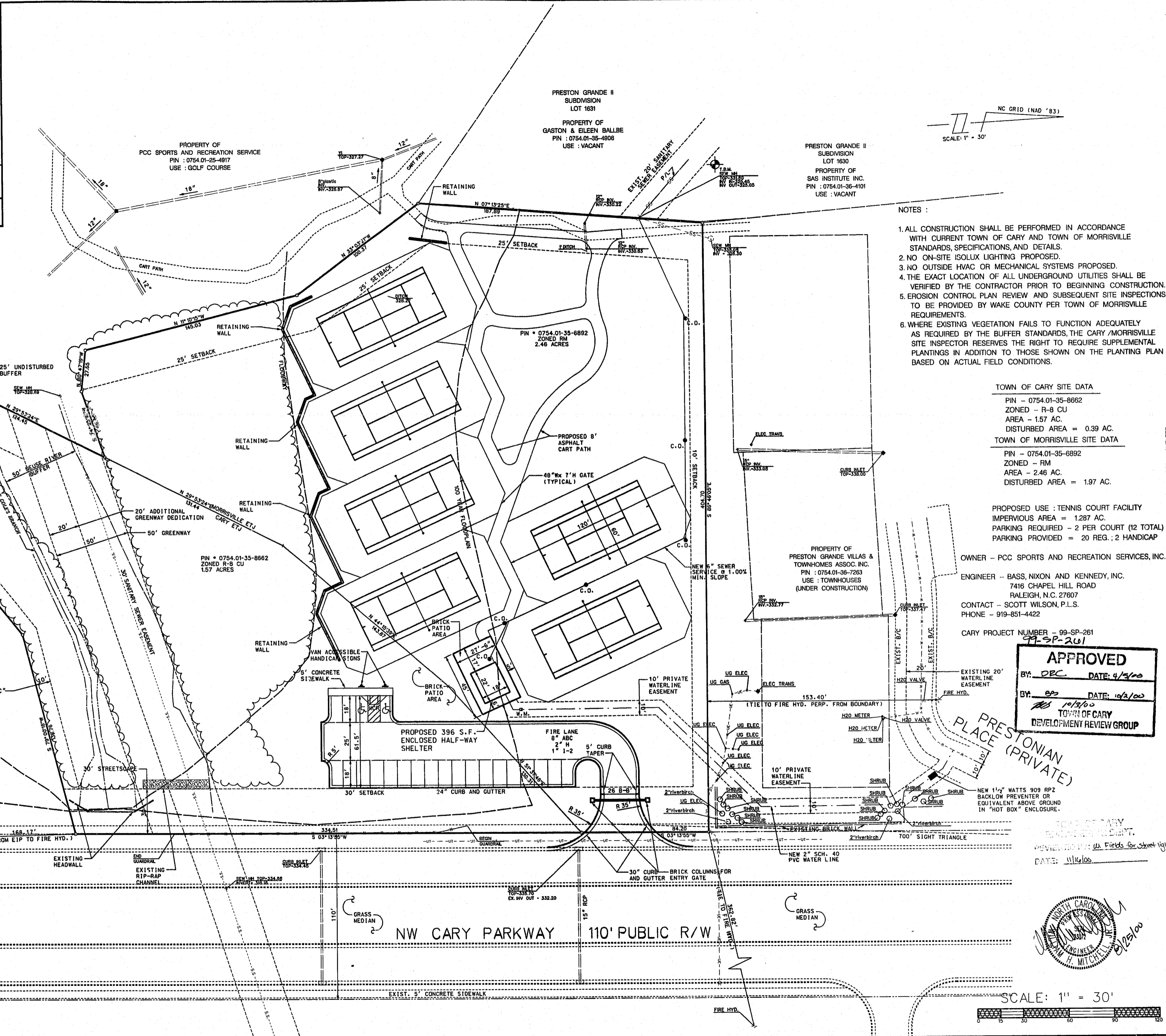
3) Uses: 50% of the total area of the site may be used for retail uses, the remaining 50% will be used for flexoffice uses.

4) At the time of first site plan submission on any portion of the property, a conceptual sketch will be submitted for the entire site.

R-8 CU
 1) Tract to be developed in conjunction with existing R-8 CU south of tract
 2) Access to tract by one (1) full service access to Cary Parkway.
 3) A 25 foot undisturbed buffer will be provided from any adjoining residentially developed property.

R-MF-12 CU
 1) Residential density will be limited to 10 dwelling units per acre.

2) Access:
 a) One (1) full service access to Cary Parkway located a minimum of 750 feet from Weatherstone Way.
 b) One (1) right-in/right-out access to Cary Parkway located a minimum of 400 feet from Weatherstone Way.
 c) Two (2) access points to Weatherstone Way. (One will be right in/right out only.)



- NOTES:**
1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY AND TOWN OF MORRISVILLE STANDARDS, SPECIFICATIONS, AND DETAILS.
 2. NO ON-SITE ISOLUX LIGHTING PROPOSED.
 3. NO OUTSIDE HVAC OR MECHANICAL SYSTEMS PROPOSED.
 4. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
 5. EROSION CONTROL PLAN REVIEW AND SUBSEQUENT SITE INSPECTIONS TO BE PROVIDED BY WAKE COUNTY PER TOWN OF MORRISVILLE REQUIREMENTS.
 6. WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED BY THE BUFFER STANDARDS, THE CARY/MORRISVILLE SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.

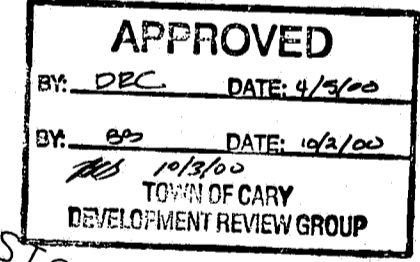
TOWN OF CARY SITE DATA
 PIN - 0754.01-35-8662
 ZONED - R-8 CU
 AREA - 1.57 AC.
 DISTURBED AREA = 0.39 AC.

TOWN OF MORRISVILLE SITE DATA
 PIN - 0754.01-35-6892
 ZONED - RM
 AREA - 2.46 AC.
 DISTURBED AREA = 1.97 AC.

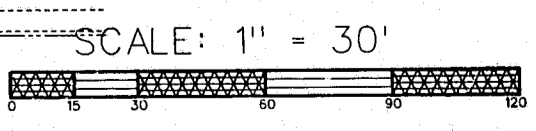
PROPOSED USE: TENNIS COURT FACILITY
 IMPERVIOUS AREA = 1.287 AC.
 PARKING REQUIRED - 2 PER COURT (12 TOTAL)
 PARKING PROVIDED = 20 REG.; 2 HANDICAP

OWNER - PCC SPORTS AND RECREATION SERVICES, INC.
 ENGINEER - BASS, NIXON AND KENNEDY, INC.
 7416 CHAPEL HILL ROAD
 RALEIGH, N.C. 27607
 CONTACT - SCOTT WILSON, P.L.S.
 PHONE - 919-851-4422

CARY PROJECT NUMBER - 99-SP-261
 99-SP-261



PRESTONIAN PLACE (PRIVATE)
 PREPARED BY: W. Fields for Street Lights only
 DATE: 11/16/00



BNK
 BASS, NIXON & KENNEDY, INC., CONSULTING ENGINEERS
 7416 CHAPEL HILL ROAD, RALEIGH, NORTH CAROLINA 27607
 TELEPHONE: (919)851-4422, FAX: (919)851-8988

NO.	DATE	REVISIONS
1	12/27/99	8' 9" 11'-00" REV. COURTS & SHELTER
2	12/27/99	12'-00" REV. COURTS & SHELTER
3	12/27/99	12'-00" REV. COURTS & SHELTER
4	12/27/99	12'-00" REV. COURTS & SHELTER
5	12/27/99	12'-00" REV. COURTS & SHELTER

99488000
 JOB NO. 12/27/99
 DATE 12/27/99
 DRAWN BY J. JONES
 CHECKED BY J. JONES
 SCALE: 1" = 30'

**PRESTONWOOD COUNTRY CLUB
 TENNIS COURTS**
 CARY/MORRISVILLE WAKE COUNTY NORTH CAROLINA

SHEET 1 OF 6