

**APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS**
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: RAGAZZI'S ITALIAN RESTAURANT
 Address: MAYNARD ROAD - CARY, N.C.
 Planned Use: RESTAURANT
 Owner/Contact Person: STEVE CURTIS Phone No.: (919) 881-5282

DESIGNER OF RECORD

DISCIPLINE	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	ARCHITECTS TOLSON ASSOCIATES INC.	NC 88	(919) 846-1800
Structural	BUFFALO-MORGAN & ASSOCIATES, INC.	NC 3494	(919) 833-1927
Mechanical	BUFFALO-MORGAN & ASSOCIATES, INC.	NC 3494	(919) 833-1927
Electrical	BUFFALO-MORGAN & ASSOCIATES, INC.	NC 3494	(919) 833-1927
Plumbing	BUFFALO-MORGAN & ASSOCIATES, INC.	NC 3494	(919) 833-1927
Fire Protection	NA		
Other	NA		

BUILDING DATA

OCCUPANCY: Assembly Business Education Mercantile Hazardous
 Factory-Industrial Institutional (unrestrained) Institutional (restrained) Residential Storage

MIXED OCCUPANCY? Yes / No Separation: NA Hr.

CONSTRUCTION TYPE: I II III IV (UP) V (P) V (UP) VI (P) VI (UP) VII (P) VII (UP) VIII (P) VIII (UP) IX (P) IX (UP) X (P) X (UP) XI (P) XI (UP) XII (P) XII (UP) XIII (P) XIII (UP) XIV (P) XIV (UP) XV (P) XV (UP) XVI (P) XVI (UP) XVII (P) XVII (UP) XVIII (P) XVIII (UP) XIX (P) XIX (UP) XX (P) XX (UP) XXI (P) XXI (UP) XXII (P) XXII (UP) XXIII (P) XXIII (UP) XXIV (P) XXIV (UP) XXV (P) XXV (UP) XXVI (P) XXVI (UP) XXVII (P) XXVII (UP) XXVIII (P) XXVIII (UP) XXIX (P) XXIX (UP) XXX (P) XXX (UP)

SPRINKLER Yes / No (13 13R 13D)
FIRE DESTRUCT Yes / No
BUILDING HEIGHT 19 Feet ONE Number of Stories
MEZZANINE Yes / No
HIGH RISE Yes / No

GROSS BUILDING AREA:

Floor	Sq. Ft. (Foot Print)	Floor	Sq. Ft. (Foot Print)
Basement	NA	4th Floor	
1st Floor	5170 SQAFT.	5th Floor	
2nd Floor		6th Floor	
3rd Floor		7th Floor	
Total Gross Area: 5170 SQAFT.			

AREA INCREASE Yes / No If Yes, code reference:
 If Yes, calculation: $1 = 1.33 (26) = 35\%$ THEREFORE 5000 SQAFT. $\times 1.35 = 6750$ SQAFT.

FIRE RESISTANCE RATINGS

Partitions	Rating	Detail No.	UL/PM No.
Exterior Bearing Walls	NA		
North	0		NA
East	0		40%
West	0		NA
South	0		20%
Exterior Non-Bearing Walls	NA		
North	NA		
East	NA		
West	NA		
South	NA		
Interior Walls	UL	UL/PM No.	For Rated Assemblies
Bearing	0		
Non-bearing	0		
Fire Separation	NA		
Ceiling-Floor Assembly	0		
Roofs	0		
Columns	0		
Ceiling-Roof Assembly	0		
Vertical Shafts	NA		
Chimney-P.E.M.	NA		
Mixed Occupancy Separation	NA		
Tenant Separation	NA		

EMERGENCY EXITS:
 Emergency Lighting and Exit Signs Yes / No
 Fire Alarm and Smoke Detection Systems Yes / No
 Panic Hardware Yes / No

EXIT REQUIREMENTS:
 Dead-End Limit - Maximum Condition Feet
 Travel Distance to Exit - Maximum Condition Feet
 Number Exits: 3

Valid Floor Space of Floor: 5170. Based on Net/No. Ft. per Occupancy 15 = 344.6. Total Number of Exits on Floor: 3. Number of Exits Required: 2.

* Required if wall to property line is less than 30 feet.
 Reproductions of UL/PM assembly test shall be incorporated on drawings
 All fire rated walls shall be identified on plans by hatching, shading, etc. show legends.
 Identify code section when using any special exceptions, etc.
 Show stairs elevators and/or atriums

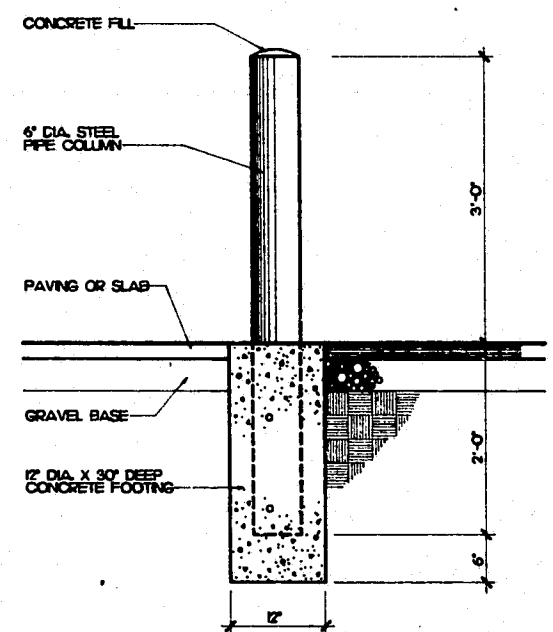
DESIGN LOADS:

Roof Live Load:	20	psf.
Wind:	90	mph.
Floor:	120	psf.
Snow:	12	psf.
Seismic:	01	
External Design:	WIND CONTROL	

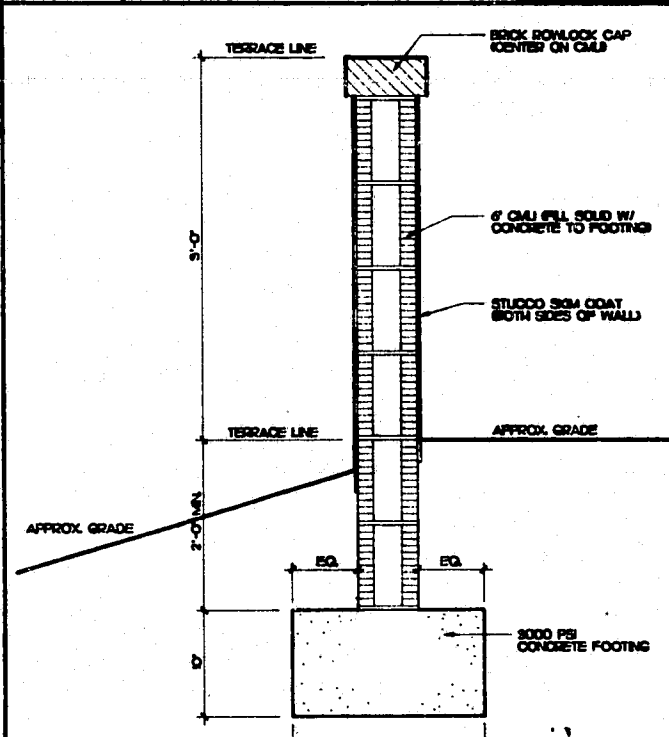
Soil Bearing Capacities:
 Field Test (provide copy of test report) NA psf.
 Presumptive Bearing Capacity 2000 psf.

PARKING SPACES: 70 Required, 59 Provided
 Handicap Spaces 3 provided (13' wide and R7-B sign)

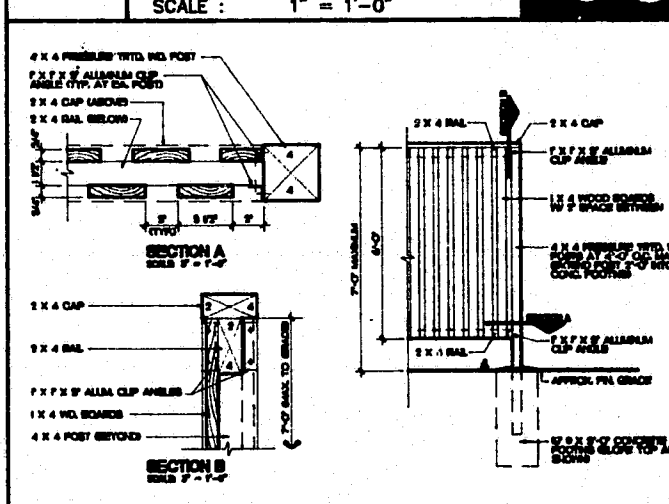
Special Approval by Department of Insurance or by Local Jurisdiction describe below:
 PARKING AGREEMENT WITH ADJACENT SHOPPING CENTER



BOLLARD detail 04
 SCALE: 3/4" = 1'-0"



TERRACE WALL detail 03
 SCALE: 1" = 1'-0"



DUMPSTER SCREEN detail 02
 SCALE: 1/4" = 1'-0"

CARY VILLAGE SQUARE

SITE DATA

ZONING: B-2
 AREA: 45,849 SF (1,055 AC)
 EXISTING LANDSCAPING: 11,604 SF

BUILDING DATA

CONSTRUCTION: TYPE VI
 GROSS AREA (EXISTING): 4650 SF
 PROPOSED ADDITION AREA: 270 SF
 SEATING: 210 PERSONS

PARKING

SPACES REQUIRED (1 PER 3 SEATS): 70
 SPACES PROPOSED: 59
 (ADDITIONAL PARKING SPACES AVAILABLE IN EXISTING SHOPPING CENTER)

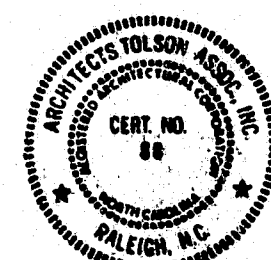
REVISIONS

20 APRIL 1993 REVISED BUILDING LAYOUT
 6 MAY 1993 ADDITIONAL ZONING DATA

THE INFORMATION PERTAINING TO THE EXISTING FACILITY WAS PROVIDED TO THE ARCHITECT BY THE OWNER AND IS THE RESPONSIBILITY OF THE OWNER TO ASSURE THEIR ACCURACY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THAT EXISTING SITE CONDITIONS ARE AS DEPICTED IN THESE DOCUMENTS PRIOR TO THE START OF CONSTRUCTION.

**ARCHITECTS
TOLSON
ASSOCIATES
INC.**

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 6736 Falls of the Neuse Road
 Raleigh, North Carolina 27615
 Phone: 919-846-1800
 Fax: 919-846-9404



issued for review
 3 MARCH 1993

issued for construction
 17 MARCH 1993

**Ragazzi's
ITALIAN RESTAURANT**

Location: CARY, N.C.
 File No.: RZNC-02

REMDEL
 LH/WS

SHEET NO.

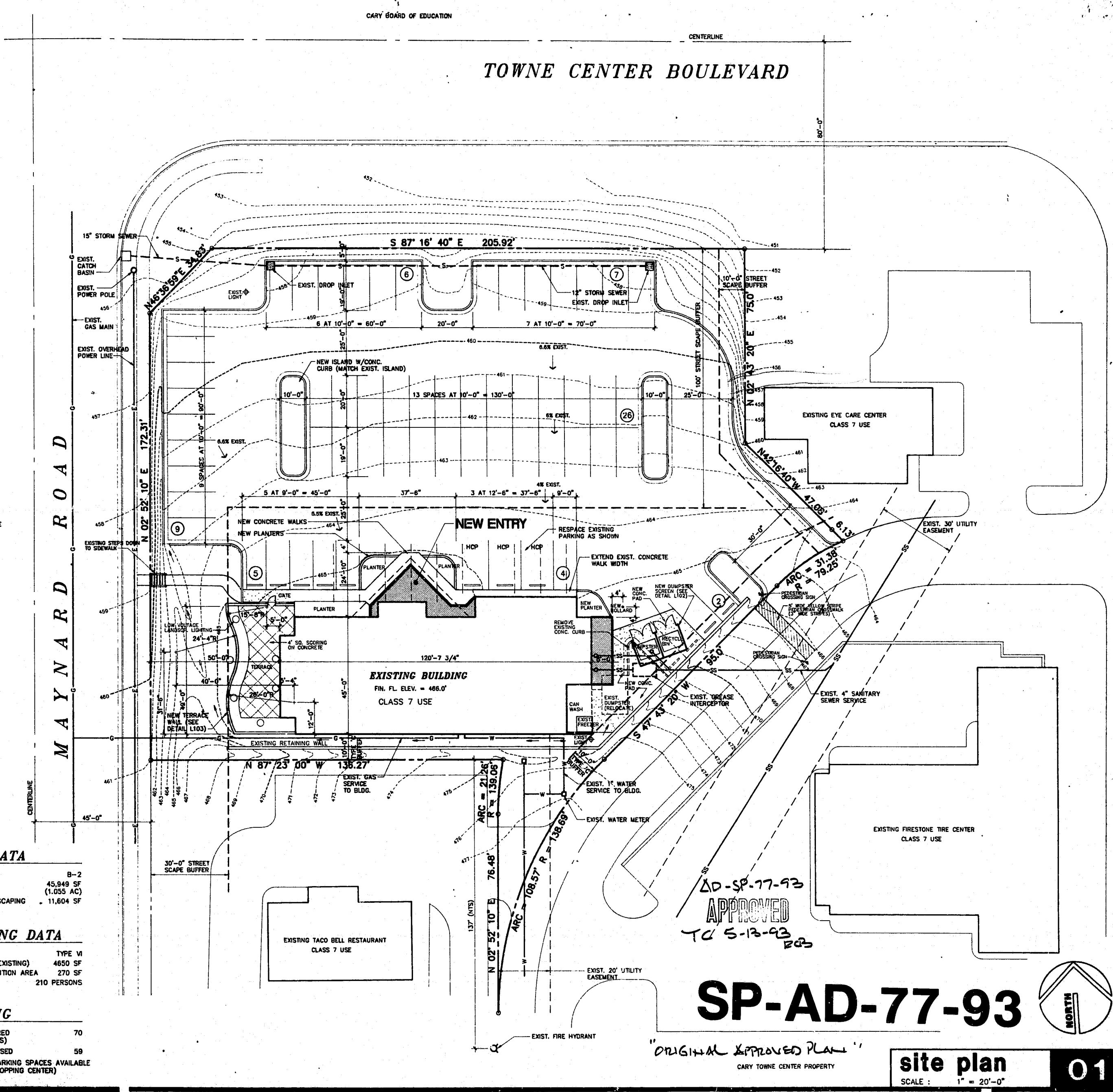
L1

OF 2 SHEETS

site plan

SCALE: 1" = 20'-0"

01



APPROVED
 5-13-93

SP-AD-77-93

"ORIGINAL APPROVED PLAN"

CARY TOWNE CENTER PROPERTY