

**KEY NOTES:**

- LOADING AREA
- CONCRETE PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET C1.4
- EXPANSION AND CONTROL JOINTS - SEE DETAIL SHEET C1.4
- ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS - SEE DETAIL SHEET C1.4
- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT
- NC DOT PAVEMENT SECTION
- HANDICAP PARKING SIGN - SEE DETAIL SHEET C1.4
- BOLLARD - SEE DETAIL SHEET C1.4
- CONCRETE LIGHT POLE BASE
- CONCRETE SIDEWALK - SEE DETAIL SHEET C1.4 FOR SIDEWALKS AROUND BUILDING
- DUMPSTER AREA
- 6" LONG CONCRETE WHEEL STOP, FINISH TO PAVEMENT - SEE DETAIL SHEET C1.4. LOCATE 2'-0" FROM FACE OF CURB OR SIDEWALK. (NOT USED)
- STOP SIGN WITH STOP BAR - SEE DETAIL SHEET C1.4
- PAVEMENT MARKINGS
- NEW CURB CUT, MATCH EXISTING TOP & APPROACH PER LOCAL CODES & SPECS.
- CONCRETE FURME - REFER TO DETAIL ON SHEET C1.4
- PROPOSED PARKING COUNT

**RETAINING WALL NOTES:**

- STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY TRIANGLE SITE DESIGN, PLLC. REFER TO RETAINING WALL DESIGN BY OTHERS.
- BOTTOM OF WALL DOWN GRADIS SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL. TOP OF WALL FINISH ELEVATIONS AS SHOWN ADJACENT TO WALL. THE RETAINING WALL CONTRACTOR SHALL PROVIDE ADDITIONAL HEIGHT AS NECESSARY FOR FOOTINGS AND CAP BLOCKS. REFER TO RETAINING WALL PLANS IN THIS PLAN SET FOR ALL TIE AND DW ELEVATIONS, DRAINAGE AND CONSTRUCTION METHODS.
- RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-0" IN HEIGHT SHALL PROVIDE FLOOD PROTECTION VIA GUARDRAILS AND/OR FENCES IN ACCORDANCE WITH THE NORTH CAROLINA STATE BUILDING CODE. REFER TO RETAINING WALL DESIGN BY OTHERS.

**WHEELCHAIR NOTES:**

WHEELCHAIR RAMP LOCATIONS ARE APPROXIMATE ONLY. WHEELCHAIR RAMPS SHOULD BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CARY AND NC DOT STANDARDS AFTER THE LOCATIONS OF THE PROPOSED STOP BARS AND/OR PEDESTRIAN CROSSWALKS HAVE BEEN STAKED OUT.

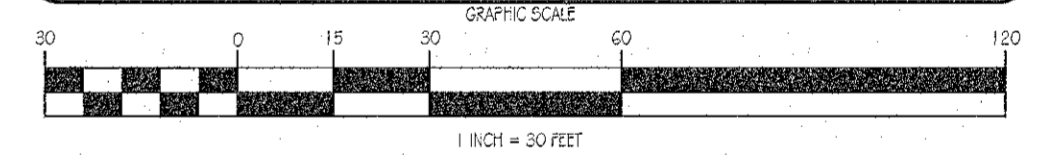
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GROVER & PEGGY LEWTER  
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**GENERAL NOTES:**

- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY TOWN OF CARY AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- COORDINATE ALL CURBS AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE TOWN OF CARY CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATIONS AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOBS EXISTING PAVEMENT.
- THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REPLACE ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, FREESTANDING BUILDING ENTRANCE LOCATIONS, AND EXISTING BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR CONSTRUCTION ACTIVITY BY THE CONTRACTOR SHALL NOTIFY THE TOWN OF CARY PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.

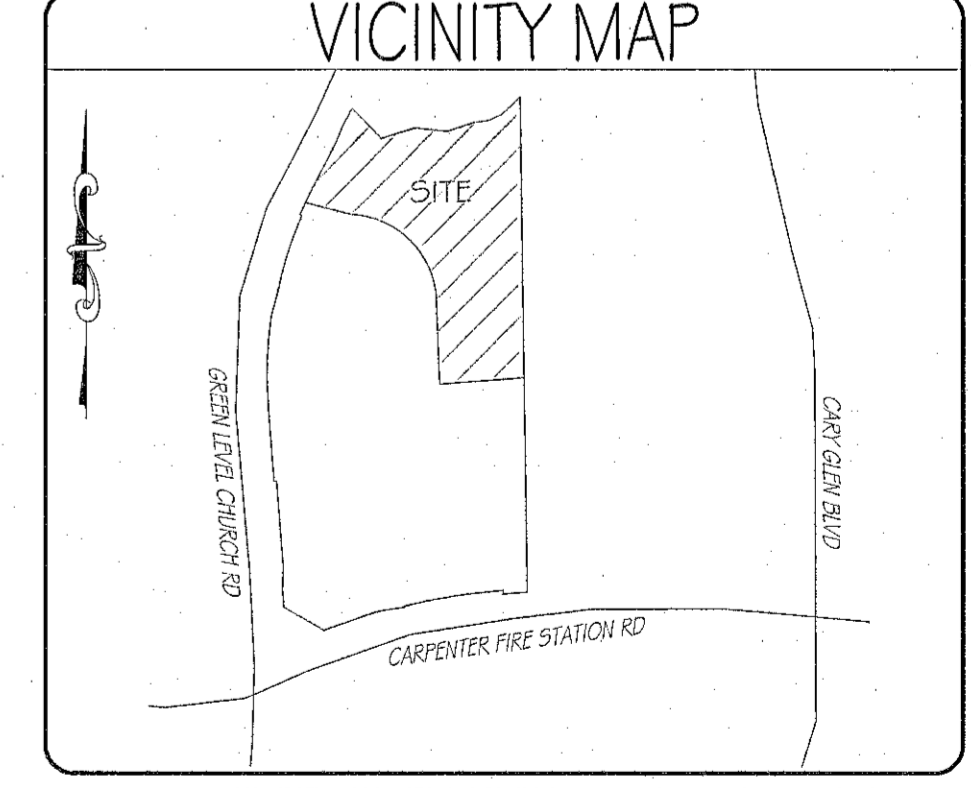
**TRAFFIC CONTROL NOTES:**

- THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.
- TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NC DOT STANDARDS AND SPECIFICATIONS.
- ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.
- ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.
- DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.
- ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 5' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
- THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-WAY, ONE-WAY ROAD.
- THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.
- THE CONTRACTOR SHALL BACKFILL AT 4:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 2'.
- WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.
- THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2'.
- WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10' ON-CENTER IN RAIN, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVELWAY.
- DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE REINSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NC DOT MINIMUM ROADWAY STANDARDS.
- MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NC DOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).

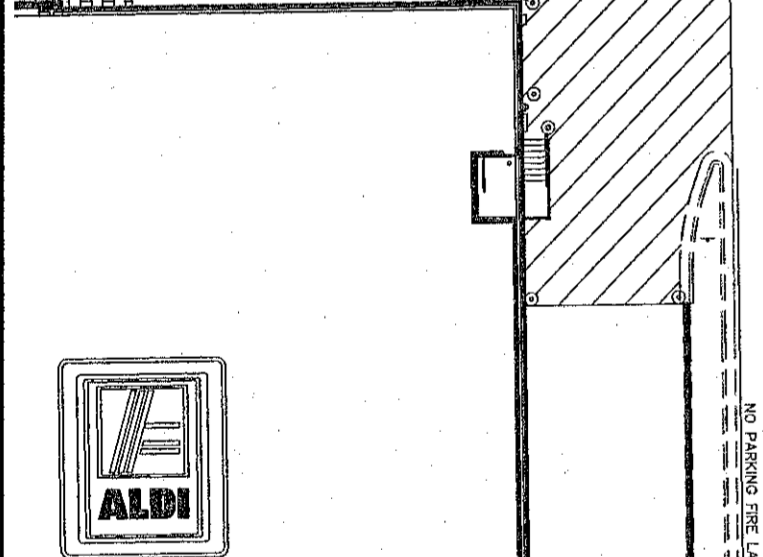


**CURVE TABLE**

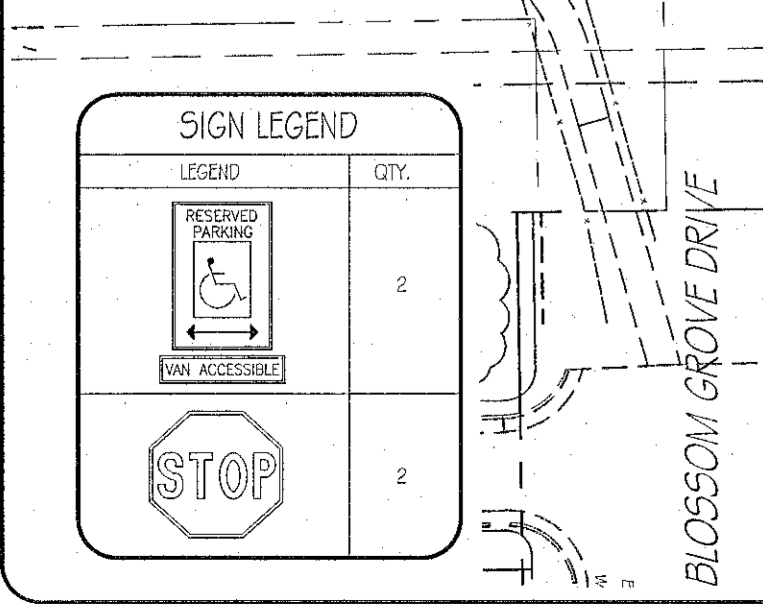
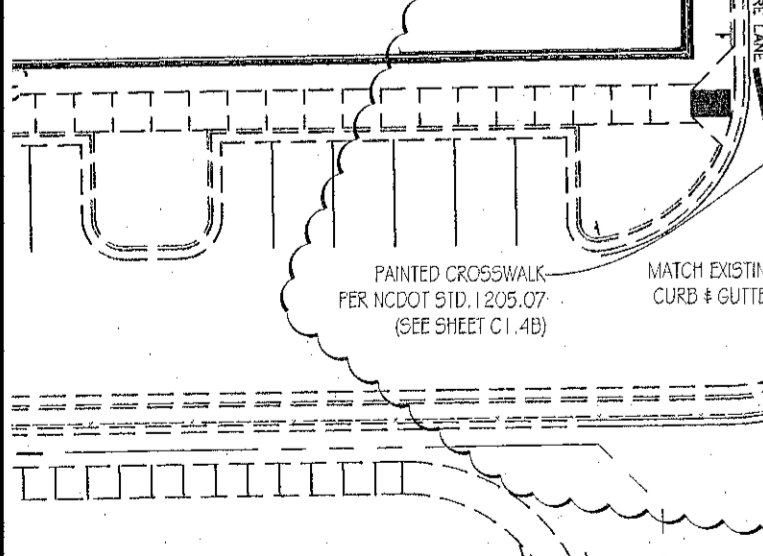
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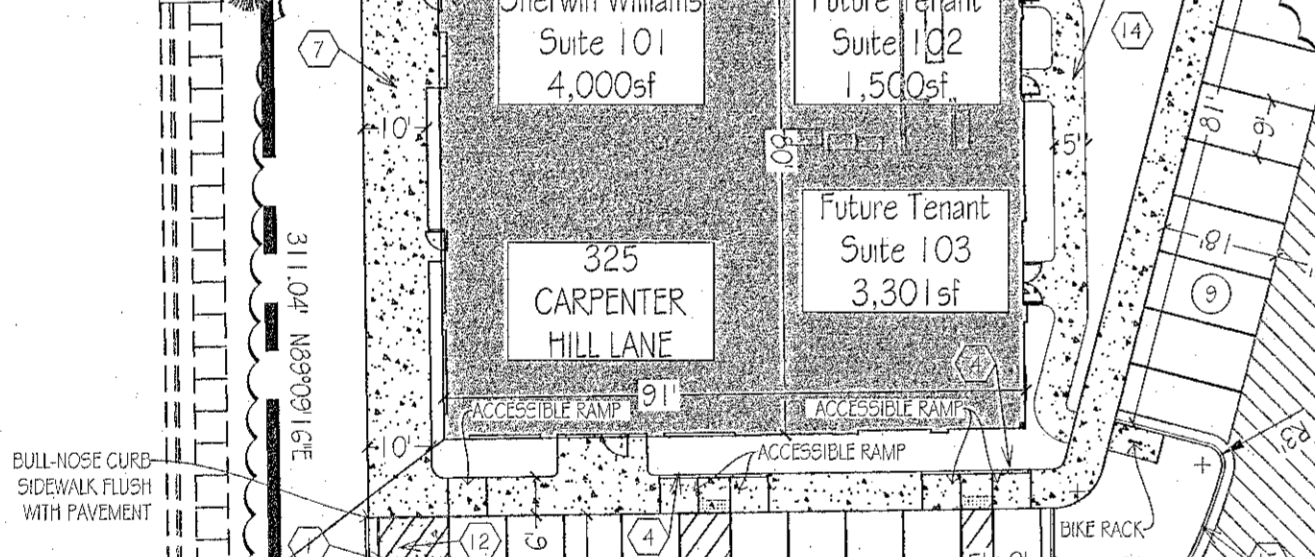
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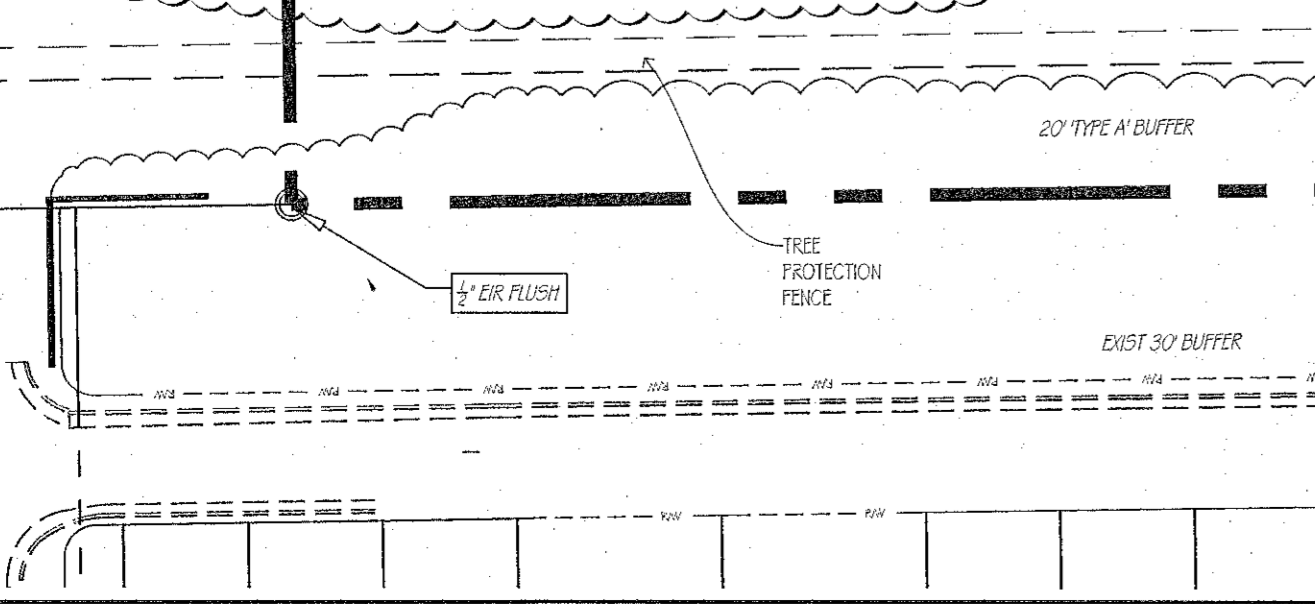
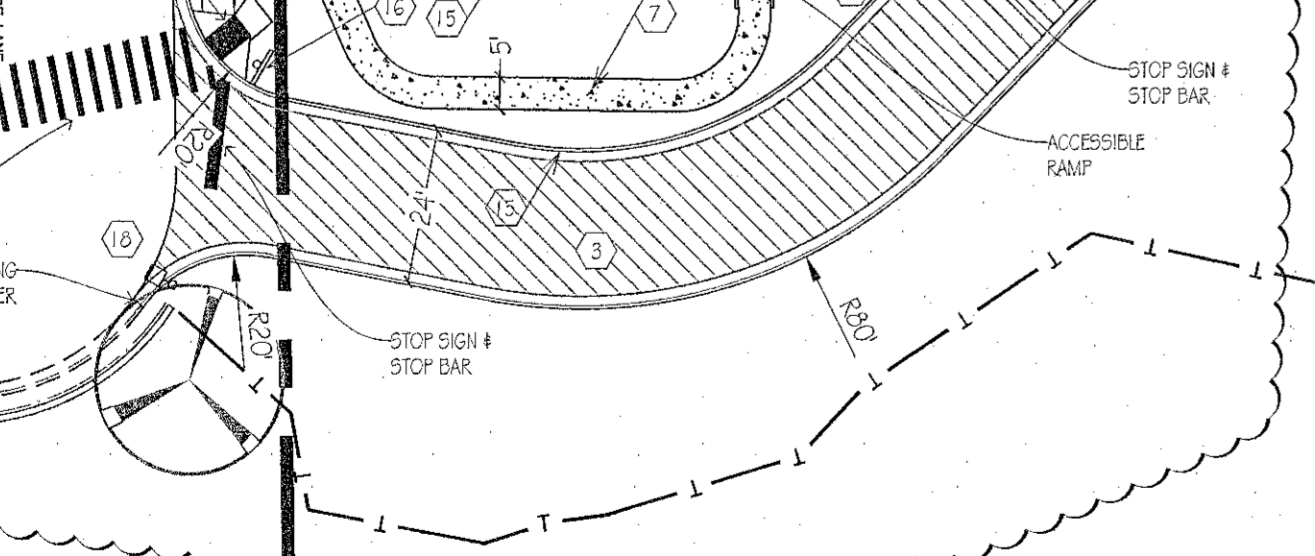
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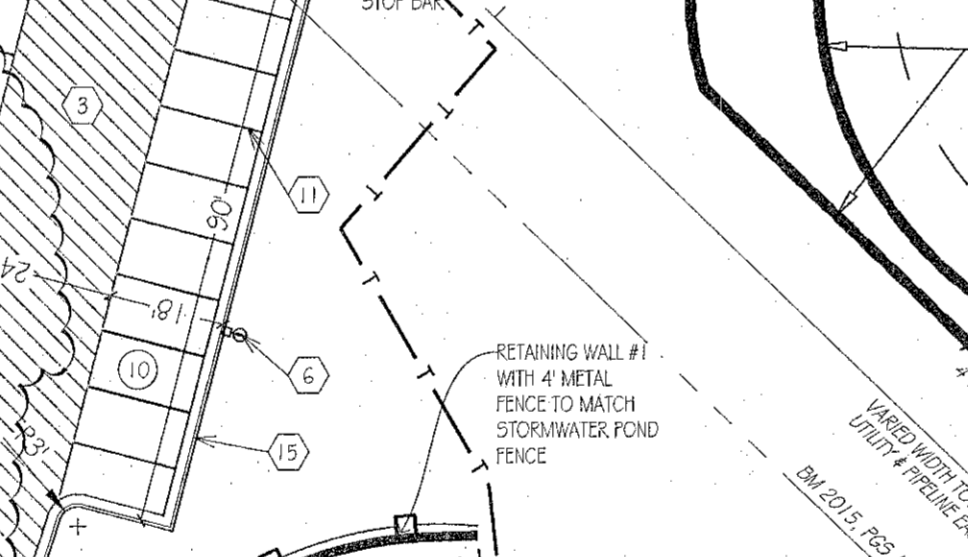
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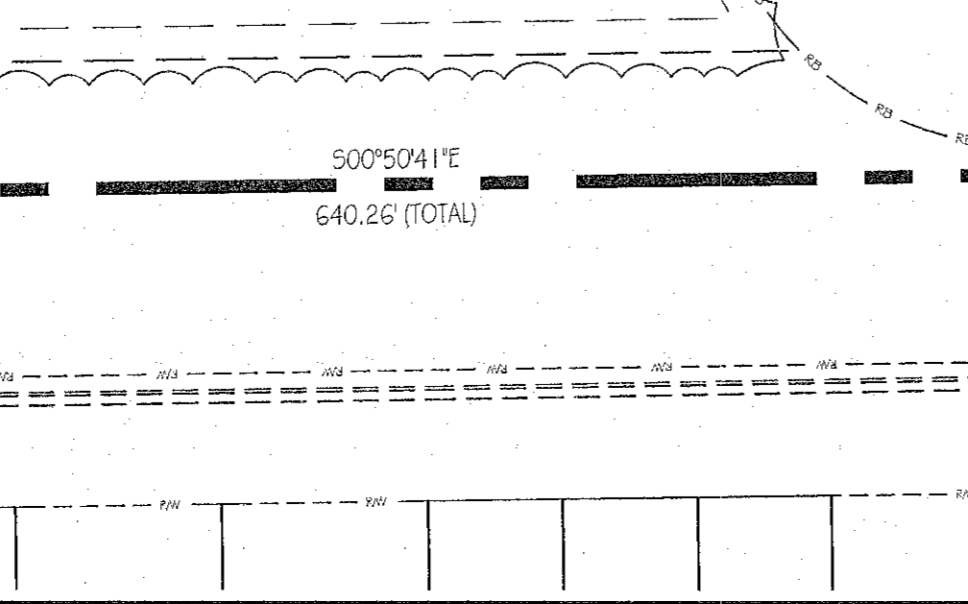
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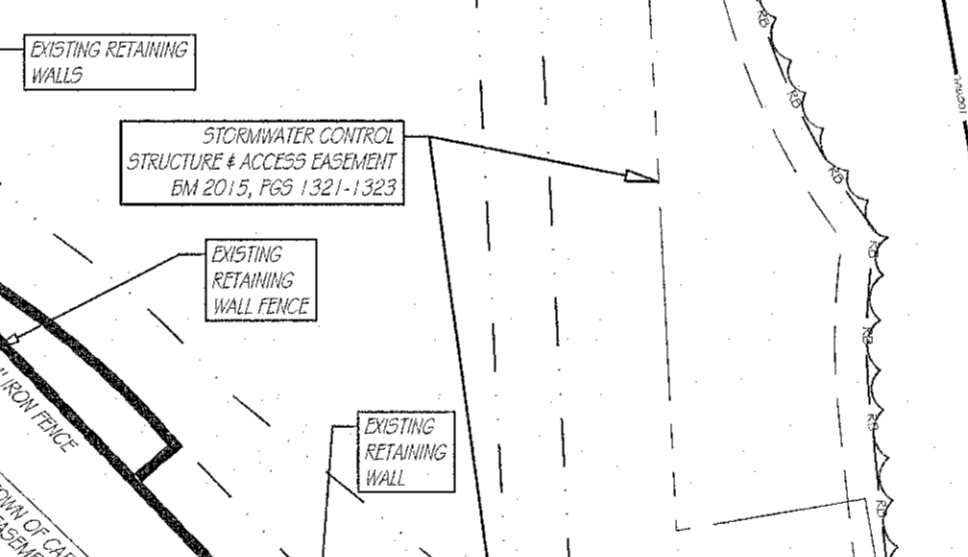
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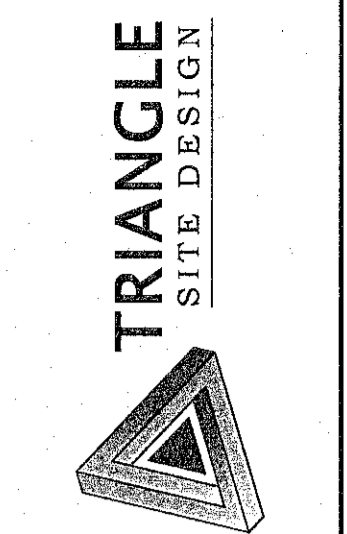
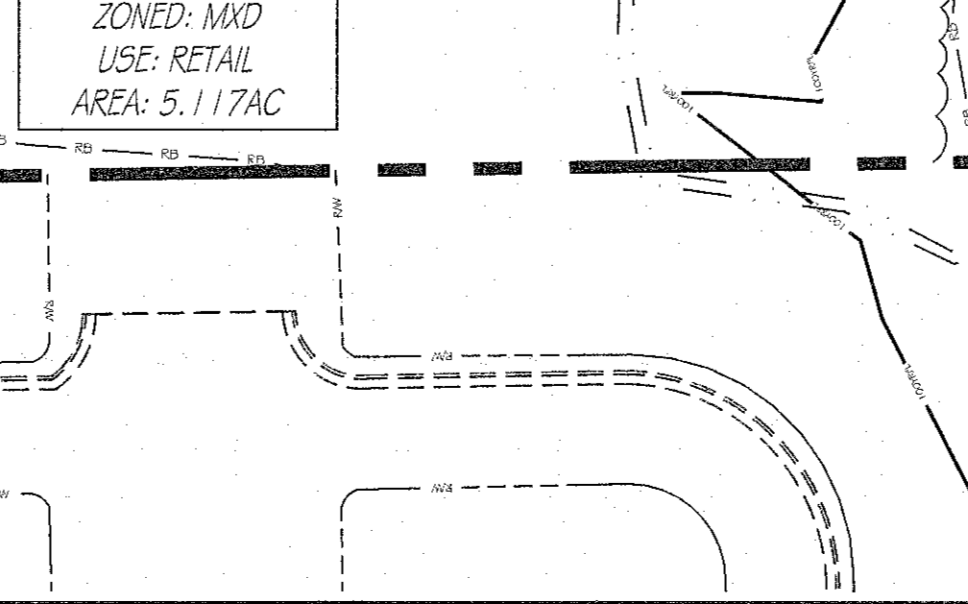
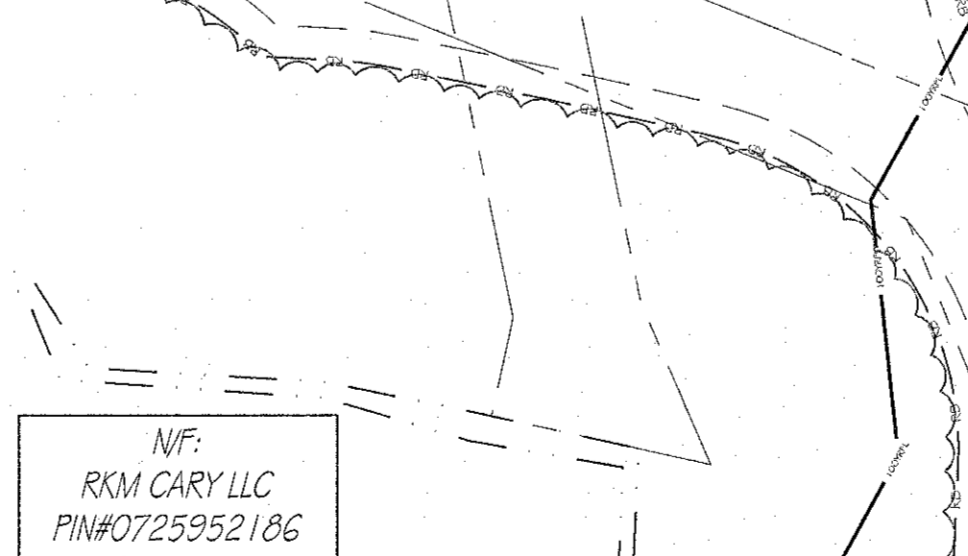
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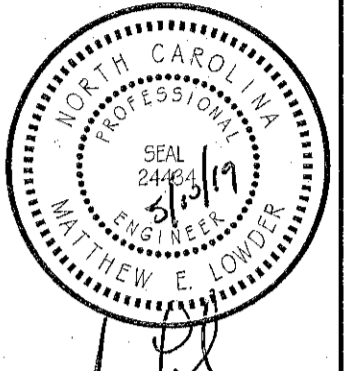
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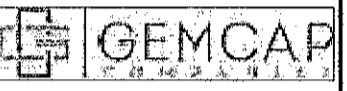
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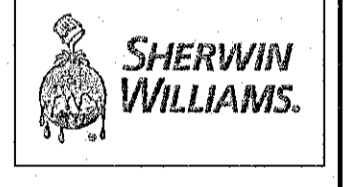
CONSULTANT:  
TRIANGLE SITE DESIGN, PLLC  
4004 BARRETT DR., STE 101  
RALEIGH, NC 27609  
(919) 553-6570  
NC LICENSE# P-0619



OWNER/DEVELOPER:  
GEMCAP Companies  
Attn: Paul Williams  
210 W. Fourth Street  
Suite 200  
Winston-Salem, NC 27101  
336-724-0153  
paul@gemcapcompanies.com



Sherwin-Williams  
18-DP-0652  
325 Carpenter Hill Lane  
Cary, NC 27519  
Wake County



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REV.	DATE	DESCRIPTION
1	10/10/19	Revised per Town of Cary review
2	11/19/19	Revised per Town of Cary review
3	12/17/19	Revised per Town of Cary review
4	1/29/20	Revised per Town of Cary review
5	3/10/20	Revised holding, dimensions, sidewalk and entrance driveway

Drawn: [Name]  
Checked: [Name]  
Approved: [Name]  
Project No.: 031002  
Date: May 10, 2019  
Title:

**SITE PLAN**

Sheet No.: C1.0

**APPROVED by the Town of Cary**  
Development Review Committee

19-DP-9738  
By: Kevin A. Hales  
07/23/2019