

TRIANGLE BRICK COMPANY

CORPORATE HEADQUARTERS

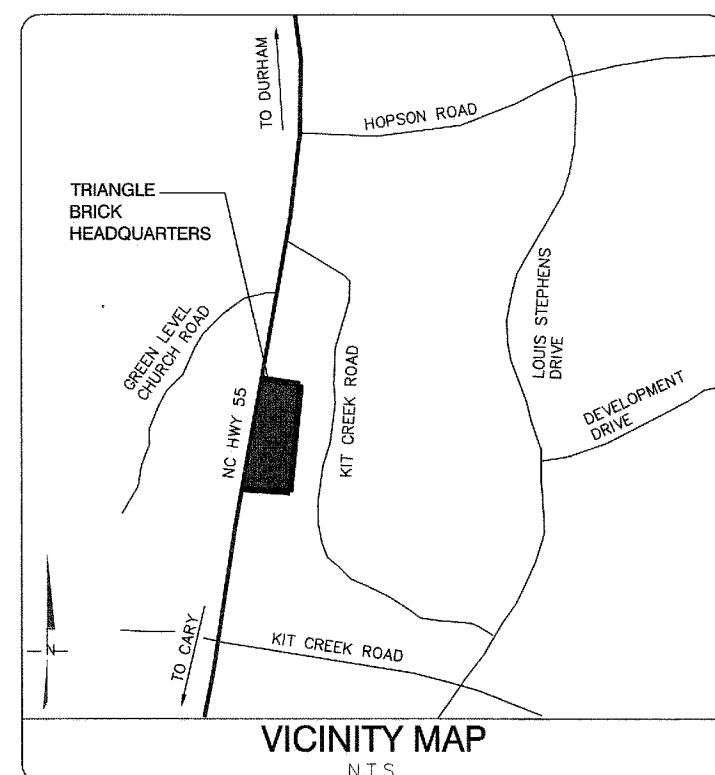
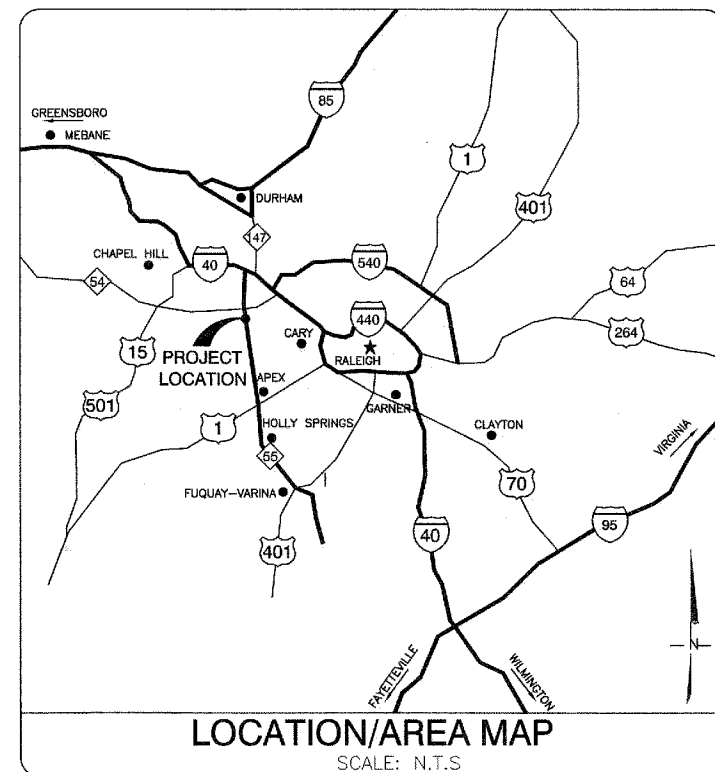
6523 NC HWY 55
DURHAM, NC 27713

SITE PLAN REVIEW SUBMITTAL

1st SUBMITTAL - JUNE 10, 2010
2nd SUBMITTAL - JULY 29, 2010
3rd SUBMITTAL - SEPTEMBER 13, 2010
MYLARS - NOVEMBER 5, 2010

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PROJECT REVISIONS			
REVISION NO.	DESCRIPTION	DATE	BY
0	SITE PLAN REVIEW SET ISSUED TO TOWN OF CARY	6/10/10	JWL
1	2ND SUBMITTAL TO TOWN OF CARY	7/29/10	JWL
2	3RD SUBMITTAL TO TOWN OF CARY	09/13/10	JWL
3	RELEASED FOR BIDDING	09/13/10	JWL
4	MYLARS SUBMITTED TO TOWN OF CARY	11/5/10	JWL

TRIANGLE BRICK HEADQUARTERS_Site Plan

EXISTING CONDITIONS	
existing 5930 gsf	HEADQUARTERS BUILDING two-story brick office building
existing 2528 gsf	OFFICE BUILDING one-story brick office building
existing *4350 gsf	UTILITY/SHOP BUILDING one-story metal utility building

*gross square footage not factored into site plan peak hour trip calculations.

PROPOSED CONDITIONS	
to be demolished (-5930 gsf)	HEADQUARTERS BUILDING two-story brick office building
to be demolished (-2528 gsf)	OFFICE BUILDING one-story brick office building
to be added 18,127 gsf	NEW HEADQUARTERS BUILDING two-story brick office building
NET ADDITION 9,669 gsf	GENERAL OFFICE BUILDING

ITE TRIP GENERATION CALCULATION

Land Use: General Office	Tripe Generation
ITE Code: 710	24 Hour Two-Way Volume = 106 trips
Gross Floor Area: 9,669 sf	A.M. Peak Hour Generation = 15 trips
	P.M. Peak Hour Generation = 14 trips

NOTE:
SITE PLAN GENERATES LESS THAN 50 PEAK HOUR TRIPS AND THEREFORE DOES NOT REQUIRE A TRAFFIC STUDY

- NOTES:
- UNLESS EXPLICITLY SPECIFIED IN THE NOTES ON THIS SITE PLAN, THE DEVELOPMENT OF THIS PROJECT, INCLUDING ANY SUBSEQUENT SITE PLANS, SHALL COMPLY WITH THE CARY LAND DEVELOPMENT ORDINANCE (LDO) AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED SITE PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, AND ABSENT CLARIFICATION OR APPROVAL OF SUCH STATED ON THIS SITE PLAN OR OTHER RELATED APPROVAL, THE APPLICABLE REGULATION OR GUIDELINES SHALL APPLY.
 - THE SHOP/UTILITY BUILDING WAS NOT INCLUDED IN THE TRIP GENERATION CALCULATION. ANY CHANGES TO THE BUILDING USE (OTHER THAN ANCILLARY) WILL REQUIRE A TRAFFIC STUDY.
 - ALL ON-SITE AND OFF-SITE ROADWAY WORK MUST BE COMPLETE PRIOR TO ISSUANCE OF FIRST C/O.
 - THIS SITE WILL HAVE A TEMPORARY STREET ADDRESS OF 6521 NC 55 HWY. ONCE THE BUILDING IS COMPLETE, THE ADDRESS WILL REVERT TO 6523 NC HWY 55.
 - ALL CONSTRUCTION SHALL BE ACCORDING TO TOWN OF CARY STANDARD SPECIFICATIONS & DETAILS.
 - A PAVEMENT DESIGN PREPARED BY A GEOTECHNICAL ENGINEER MUST BE SUBMITTED TO THE TOWN OF CARY AND TO NCDOT PRIOR TO ROADWAY IMPROVEMENTS. CONTRACTOR SHALL VERIFY WHETHER EXISTING PAVED SHOULDER IS OF SUFFICIENT STRENGTH TO BE USED AS A TRAVEL LANE.
 - STREET LIGHTS MUST BE INSTALLED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

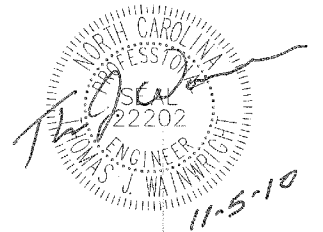
PROJECT TEAM

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