

EXTERIOR FINISH MATERIALS LEGEND

5.01	BALCONY GUARDRAIL - PREFINISHED TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE (SUBSTITUTION 3)
5.02	STOREFRONT - PREFINISHED TO MATCH SHERWIN WILLIAMS SW-7005 PURE WHITE
6.04	STONE LINTEL - TO COORDINATE WITH GRAY DRY STACKED STONE
6.05	GRAY DRY STACKED STONE - BORAL PROSTONE - ROUGHLEDGE BREAKWATER
6.06	FIBER CEMENT ACCENT FEATURE - PAINT TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE (SUBSTITUTION 3)
6.08	BRICK MASONRY 1 - GLEN GERY - ALUMINUM (SUBSTITUTION 1)
6.10	BRICK MASONRY 2 - BELDEN - LANDMARK VELOUR GRAY (SUBSTITUTION 2)
6.11	BRICK MASONRY 3 - MCAVOY - SMOOTH VALLEY FORGE I S
7.03	FIBER CEMENT CORNICE - PAINT TO MATCH SHERWIN WILLIAMS SW-7005 PURE WHITE
7.04	FIBER CEMENT AWNING/OVERHANGS - PAINT TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE (SUBSTITUTION 3)

A1	WINDOW 60X76 - FIRST FLOOR PRIMARY FACADE TYPICAL - WINDOW AREA = 31.66 SF
A2	WINDOW 68X89 - FIRST FLOOR SECONDARY FACADE TYPICAL - WINDOW AREA = 42.03 SF
A4	WINDOW 68X54 - UPPER FLOORS TYPICAL - WINDOW AREA = 25.5 SF
A5	WINDOW 54X54 - CORRIDOR TYPICAL - WINDOW AREA = 20.25 SF
B1	SLIDING GLASS DOOR - TYPICAL UPPER FLOOR BALCONIES = 35 SF

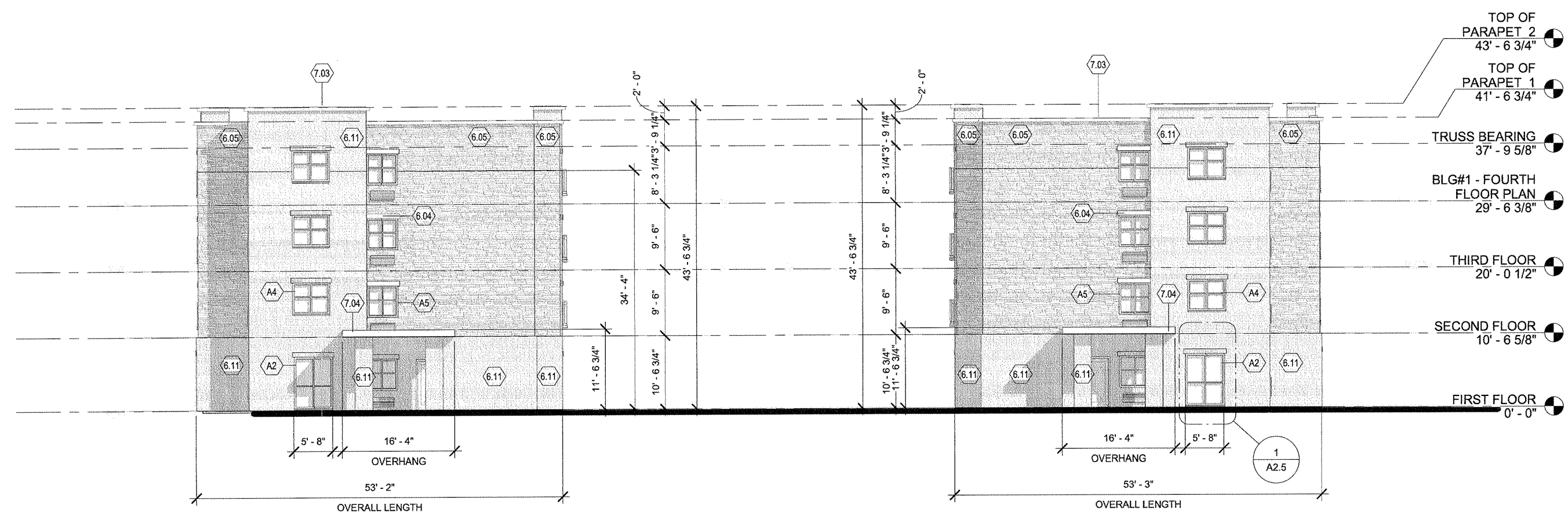
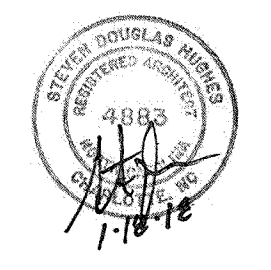
GENERAL NOTES

- PRE-FINISHED METAL COPING TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE
- NO ROOFTOP EQUIPMENT SPECIFIED.
- FASCIA SIGNS REQUIRE SEPARATE APPROVAL. ANY SIGNS PROPOSED ARE FOR ILLUSTRATIVE PURPOSES ONLY.
- UTILITIES ABOVE GRADE OUTSIDE OF THE BUILDING TO MATCH SHERWIN WILLIAMS SW-7051 ANALYTICAL GRAY
- ALL METAL MATERIALS TO BE PREFINISHED PRIOR TO DELIVERY ON SITE.
- VTA CLOUVER GRILLES PREFINISHED TO MATCH SHERWIN WILLIAMS SW-7051 ANALYTICAL GRAY

**WOOLPERT**  
ARCHITECTURE [ENGINEERING] INTERIORS

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(678) 537-8938



**2** BLG#1 & BLG#2 - EAST ELEVATIONS - SECONDARY FAÇADES  
SCALE: 3/32" = 1'-0"

Area of Façade Walls	2,296.48	sf
Area of Window and Doors	219.78	sf
Net Total Façade Wall Area <sup>1</sup>	2,076.70	sf

<sup>1</sup> Net Total Façade Wall Area is the Area of Façade Walls minus Area of Window and Doors

Area of predominant net façade material	2,076.70	sf	100	%	(52%) (48%)
Area of non-predominant net façade material	0	sf	0	%	BRICK & STONE

Provide the following table on the elevation sheet(s) demonstrating compliance with 35% of the ground floor and 20% of the upper floors horizontal length requirement for other non-residential uses. A table is required for each side of the building(s) adjacent to public r/w and private roads

18	Total Horizontal Length of Wall:	53.2	lf
	Total Horizontal Length of Windows and Glass on the Ground Floor(s):	12.6	lf = 14.8 % of Wall
	Total Horizontal Length of Windows and Glass on the Upper Floor(s):	9	lf = 8.0 % of Wall

16 Provide the following table on each applicable elevation sheet demonstrating compliance with ground floor features along no less than 60% of the horizontal length of the wall. A table is required for each side of the building(s) adjacent to a public r/w.

Total horizontal length of the walls: 53.2 lf

Horizontal length of the (add feature): 5.7 lf (WINDOWS)

Horizontal length of the (add feature): 16.3 lf (OVERHANG)

(examples of features: windows, awnings)

Total horizontal length of all features: 22.0 lf = 41.4 % of the wall

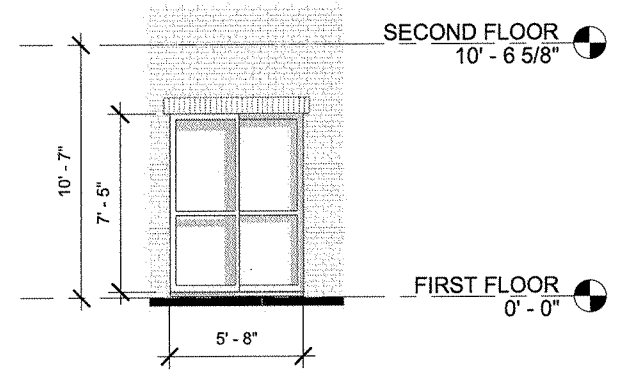
19 Provide the following table on the elevation sheet(s) demonstrating compliance with 60% of the vertical height of the ground floor requirement for retail goods and service uses. A table is required for each side of the building(s) adjacent to public r/w and private roads

19	Total Vertical Height of Ground Floor Walls:	10'-6-1/2"	lf
	Total Vertical Height of Windows:	7'-5"	lf = 70.4 % of Wall

5.9.5.H - FENESTRATION

B. DOES NOT APPLY

C. DOES NOT APPLY



**1** BLG#1 & BLG#2 - EAST - 60% VERTICAL HEIGHT COMPLIANCE  
SCALE: 3/16" = 1'-0"

MORRISVILLE PROJECT #: 17-1100001 FILE #: 17-0001-S/C

Town of Morrisville  
APPROVED FOR CONSTRUCTION

Signature: *[Signature]* Date: 5/31/18  
Town of Morrisville, Town Engineer

Engineering: *[Signature]* Date/Initials: 5/31/18 RLP  
Planning: *[Signature]* Date/Initials: 2/16/18  
Other (Specify): *[Signature]* Date/Initials: 5/31/18 JEB (SWS)

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Town of Cary Utilities, Water and Sewer

Engineering Inspection Services must be contacted (919) 463-6907 at minimum 24 hours prior to the commencement of any construction activities.



Morrisville  
**WaterWalk**  
153 Units

1012 LOWER SHILOH WAY, MORRISVILLE, NC 27560  
1016 LOWER SHILOH WAY, MORRISVILLE, NC 27560

Revisions:

Proj. No.: 077730  
Date: 01/18/2018  
Drawn By: JY  
Checked By: KE

Sheet Name:  
BUILDING 1 & 2 EAST ELEVATIONS