

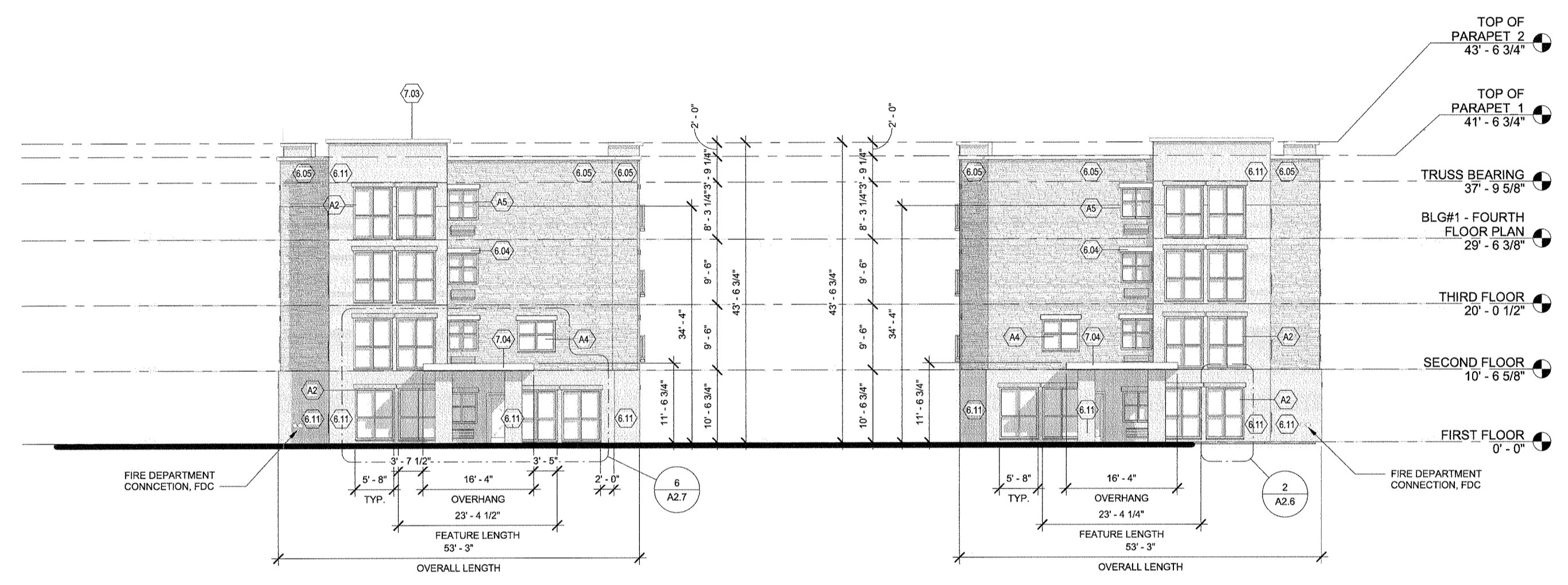
EXTERIOR FINISH MATERIALS LEGEND

5.01	BALCONY GUARDRAIL - PREFINISHED TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE (SUBSTITUTION 3)
5.02	STOREFRONT - PREFINISHED TO MATCH SHERWIN WILLIAMS SW-7005 PURE WHITE
6.04	STONE LINTEL - TO COORDINATE WITH GRAY DRY STACKED STONE
6.05	GRAY DRY STACKED STONE - BORAL PROSTONE - ROUGHLEDGE BREAKWATER
6.06	FIBER CEMENT ACCENT FEATURE - PAINT TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE (SUBSTITUTION 3)
6.08	BRICK MASONRY 1 - GLEN GERY - ALUMINUM (SUBSTITUTION 1)
6.10	BRICK MASONRY 2 - BELDEN - LANDMARK VELOUR GRAY (SUBSTITUTION 2)
6.11	BRICK MASONRY 3 - MCAVOY - SMOOTH VALLEY FORGE IS
7.03	FIBER CEMENT CORNICE - PAINT TO MATCH SHERWIN WILLIAMS SW-7005 PURE WHITE
7.04	FIBER CEMENT AWNING/OVERHANGS - PAINT TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE (SUBSTITUTION 3)

A1	WINDOW 60X76 - FIRST FLOOR PRIMARY FACADE TYPICAL - WINDOW AREA = 31.66 SF
A2	WINDOW 68X89 - FIRST FLOOR SECONDARY FACADE TYPICAL - WINDOW AREA = 42.03 SF
A4	WINDOW 68X54 - UPPER FLOORS TYPICAL - WINDOW AREA = 25.5 SF
A5	WINDOW 54X54 - CORRIDOR TYPICAL - WINDOW AREA = 20.25 SF
B1	SLIDING GLASS DOOR - TYPICAL UPPER FLOOR BALCONIES = 35 SF

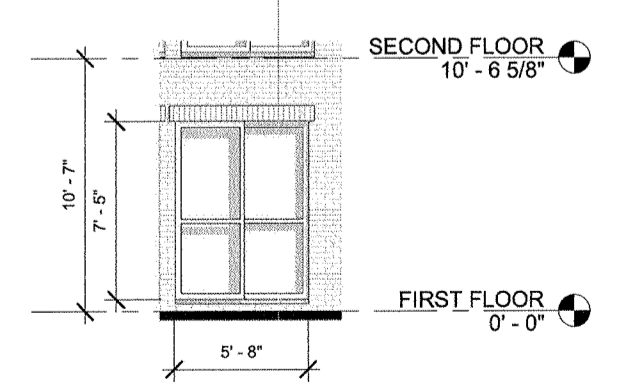
GENERAL NOTES

- PREFINISHED METAL COPING TO MATCH SHERWIN WILLIAMS SW-7033 BRAINSTORM BRONZE
- NO ROOFTOP EQUIPMENT SPECIFIED.
- FASCIA SIGNS REQUIRE SEPARATE APPROVAL. ANY SIGNS PROPOSED ARE FOR ILLUSTRATIVE PURPOSES ONLY.
- UTILITIES ABOVE GRADE OUTSIDE OF THE BUILDING TO MATCH SHERWIN WILLIAMS SW-7051 ANALYTICAL GRAY
- ALL METAL MATERIALS TO BE PREFINISHED PRIOR TO DELIVERY ON SITE.
- VTAC LOUVER GRILLES PREFINISHED TO MATCH SHERWIN WILLIAMS SW-7051 ANALYTICAL GRAY



**1** BLG#1 & BLG#2 - WEST ELEVATIONS - PRIMARY FAÇADES  
SCALE: 3/32" = 1'-0"

12	Area of Façade Walls	2,296.48	sf
	Area of Window and Doors	598.8	sf
Net Total Façade Wall Area <sup>1</sup> 1,697.68 sf			
<sup>1</sup> Net Total Façade Wall Area is the Area of Façade Walls minus Area of Window and Doors			
16	Area of predominant net façade material	1,697.68	sf
	Area of non-predominant net façade material	0	sf
(45%) (55%) BRICK & STONE			
18	Total Horizontal Length of Wall:	53.2	lf
	Total Horizontal Length of Windows and Glass on the Ground Floor(s):	29.6	lf = 37.3 % of Wall
19	Total Horizontal Length of Windows and Glass on the Upper Floor(s):	21.3	lf = 23.3 % of Wall
	Total Vertical Height of Ground Floor Wall:	10' - 6 1/2"	lf
5.9.5.H - FENESTRATION			
B.	35 PERCENT GROUND FLOOR FENESTRATION REQUIREMENT ON PRIMARY FAÇADE		
	GROUND FLOOR AREA TYPICAL	581.40	
	TOTAL AREA OF GLAZING GROUND FLOOR	299.37	TOTAL % OF GLAZING COVERAGE = 37.29%
C.	20 PERCENT UPPER FLOOR FENESTRATION REQUIREMENT		
	UPPER FLOOR AREA TOTAL	1,735.08	
	TOTAL AREA OF GLAZING PER FLOOR (2-4)	389.43	TOTAL % OF GLAZING COVERAGE = 23.27%



**2** BLG#1 & BLG#2 - WEST - 60% VERTICAL HEIGHT COMPLIANCE  
SCALE: 3/16" = 1'-0"

MORRISVILLE PROJECT #: 17-11000001 FILE #: 17-0001-S/C

Town of Morrisville  
APPROVED FOR CONSTRUCTION

Signature: *[Signature]* Date: 5/31/18  
Town of Morrisville, Town Engineer Date/Initials

Engineering: *[Signature]* *[Signature]*  
Planning: *[Signature]* *[Signature]*  
Other (Specify): *[Signature]* *[Signature]*

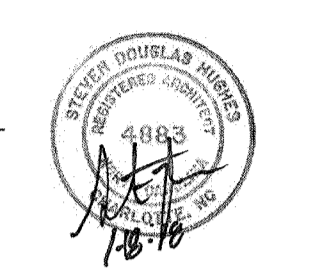
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Town of Cary Utilities, Water and Sewer

Engineering Inspection Services must be contacted (919) 463-6907 at minimum 24 hours prior to the commencement of any construction activities.

**WOOLPERT**  
ARCHITECTURE (ENGINEERING) ECOSPATIAL

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FAX: 770.391.4104

CONTACT:  
Kristen Eudy, RA  
(678) 537-8938



**Morrisville WaterWalk**  
153 Units

1012 LOWER SHILOH WAY, MORRISVILLE, NC 27560  
1016 LOWER SHILOH WAY, MORRISVILLE, NC 27560

Revisions:

Proj. No.: 077730  
Date: 01/18/2018  
Drawn By: JY  
Checked By: KE

Sheet Name:  
BUILDING 1 & 2 WEST ELEVATIONS