

# SITE PLAN FOR WATERFORD AT CARY PARK

700 & 1000 WATERFORD LAKE DRIVE  
 UNDERFOOT PROJECT # C16006.00  
 TOWN OF CARY #16-SP-024  
 TOWN OF CARY HTE #16-1162

## CONTACT INFORMATION

DEVELOPER/OWNER	CONCORDIA BUILDING COMPANY LLC 2508 RELIANCE AVENUE APEX, NC 27539 STEVE BEAUCHESNE, PARTNER STEVE@CONCORDIABUILDING.COM 919.441.8158
CIVIL ENGINEER	UNDERFOOT ENGINEERING, INC. (NCBELS # C-3847) 1149 EXECUTIVE CIRCLE, SUITE C-1 CARY, NC 27511 LONDON LOVELACE, PE, NCLID, LEED AP LLOVELACE@UNDERFOOTENGINEERING.COM 919.576.9733
LANDSCAPE ARCHITECT/ARCHITECT	J DAVIS ARCHITECTS 510 GLENWOOD AVENUE SUITE 201 RALEIGH, NC 27603 JEFFREY T DAVIS AIA 919.835.1500

## TOWN REQUIRED NOTES

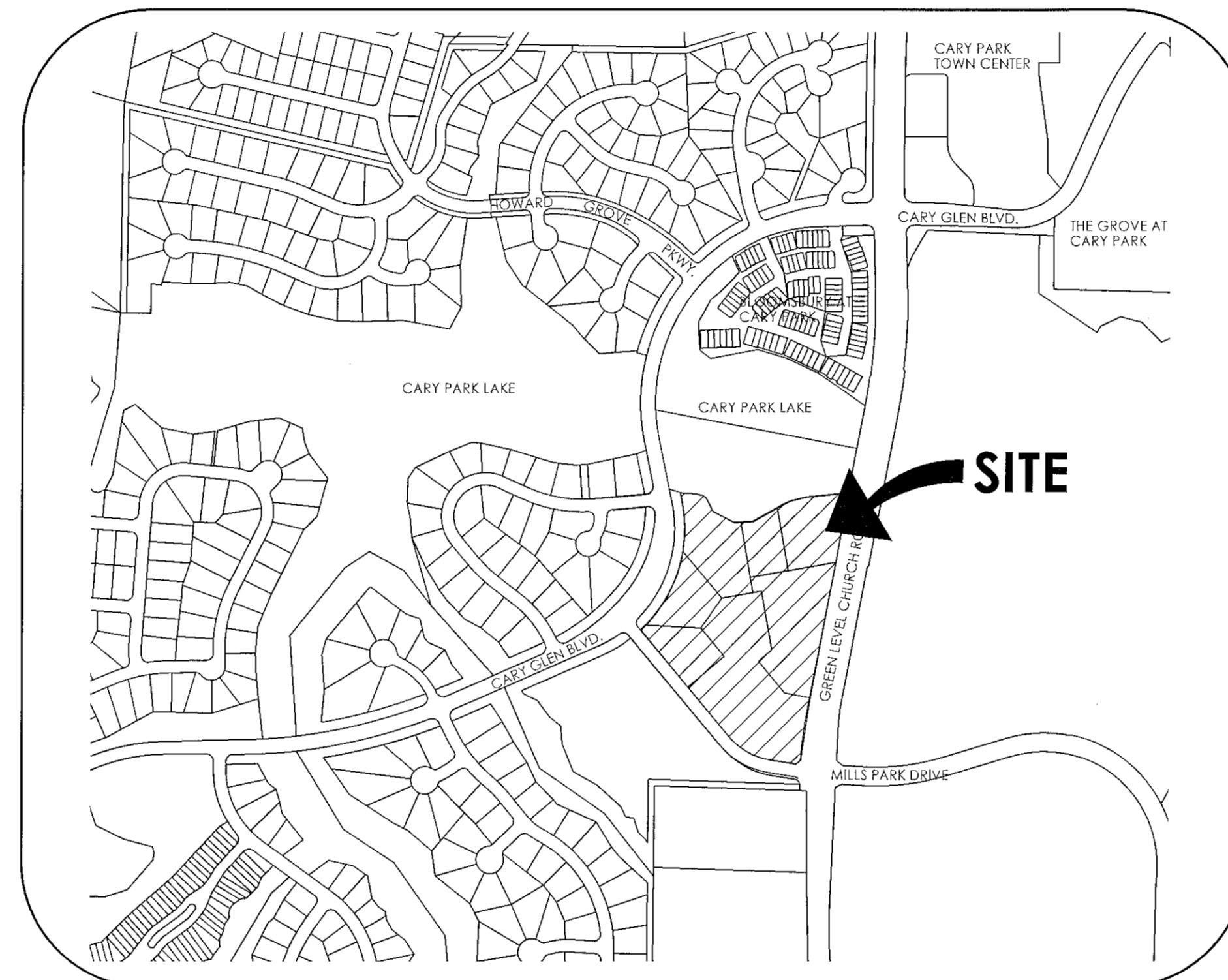
- UNLESS EXPLICITLY SPECIFIED IN THE NOTES ON THIS SITE PLAN, THE DEVELOPMENT OF THIS PROJECT, INCLUDING ANY SUBSEQUENT SITE PLANS, SHALL COMPLY WITH THE TOWN OF CARY LAND DEVELOPMENT ORDINANCE (LDO) AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED SITE PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, AND ABSENT CLARIFICATION OR APPROVAL OF SUCH STATED ON THIS SITE PLAN OR OTHER RELATED APPROVAL, THE APPLICABLE REGULATION OR GUIDELINE SHALL APPLY.
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, ARCHITECTURAL DESIGN (ESPECIALLY COLORS), LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW COMMITTEE OF THE TOWN OF CARY.
- THE FOLLOWING MODIFICATIONS TO THE TOWN'S DEVELOPMENT STANDARDS HAVE BEEN APPROVED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE LDO:
  - 2.5" PAVEMENT DEPTH IN LIEU OF REQUIRED 3" PAVEMENT DEPTH ON PARKING AREAS ALREADY PAVED WITH CURB ELEVATIONS ALREADY SET PER ORIGINALLY APPROVED PLANS
- PUBLIC GREENWAY CONSTRUCTION SHALL BE COMPLETED PRIOR TO ISSUANCE OF A C.O.
- RIGHT OF ENTRY WILL BE REQUIRED FROM TOWN OF CARY PRIOR TO BEGINNING ANY WORK IN EXISTING TOWN OF CARY GREENWAY EASEMENTS.
- A TRAFFIC ALERT ISSUED BY THE TOWN OF CARY IS REQUIRED FOR THIS PROJECT FOR CONSTRUCTION ACTIVITIES THAT ARE GOING TO BE CONDUCTED WITHIN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL PROPERLY FILL OUT A TOWN OF CARY PUBLIC INFORMATION OFFICE (PIO) FORM AND SUBMIT IT TO THE FIELD SERVICES INSPECTOR AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO CONSTRUCTION ACTIVITIES BEGINNING WITHIN THE RIGHT-OF-WAY. THE FIELD SERVICES INSPECTOR WILL FORWARD THIS FORM TO THE PIO SO THAT A TRAFFIC ALERT CAN BE ISSUED IN ADVANCE OF THE CONSTRUCTION.

## PROJECT NARRATIVE

THIS PROJECT INCLUDES THE CONSTRUCTION OF A 450 LF (+/-), 8' ASPHALT GREENWAY CONNECTOR BETWEEN AN EXISTING TOWN OF CARY GREENWAY ALONG CARY PARK LAKE AND A PROPOSED GREENWAY ENTRANCE AT GREEN LEVEL CHURCH ROAD ON LOT 7 OF WATERFORD AT CARY PARK. ADDITIONALLY, A TRAILSIDE SWALE WILL BE INSTALLED ALONG A PORTION OF THE EXISTING GREENWAY TO ALLEVIATE CURRENT DRAINAGE ISSUES. PROPOSED CONDOMINIUM BUILDINGS ON LOTS 5 AND 6 OF THE WATERFORD SITE HAVE FOUNDATIONS ALREADY CONSTRUCTED, BUT WERE LEFT UNFINISHED FROM A PREVIOUS DEVELOPER. THE TOWN OF CARY IS REQUIRING THAT THE NEW DEVELOPER OF LOTS 5 AND 6 RE-PERMIT AND CONSTRUCT THIS GREENWAY CONNECTOR AS PART OF THE BUILDING PERMIT PROCESS FOR THOSE TWO BUILDINGS/LOTS. CLEARING, GRADING, PAVING AND THE INSTALLATION OF ASSOCIATED SEGMENTAL RETAINING WALLS, STORM DRAINAGE, FENCING, THE FINAL LIFT OF ASPHALT AND STRIPING/SIGNAGE ARE A PART OF THIS PROJECT. NO WORK INVOLVING THE ADJACENT BMP OR UTILITY WORK IS INCLUDED IN THIS PLAN SET.

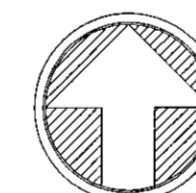
## TOWN OF CARY BMP EASEMENT NOTE:

THE RECORDED SCSAE PER BM2004, PG 2358 IS SHOWN ON SHEET C-200; IT DOES NOT RUN PARALLEL ALONG THE PUBLIC GREENWAY. THE PUBLIC GREENWAY IS NOT TO BE USED TO ACCESS THE BMP FOR MAINTENANCE OR REPAIR.



VICINITY MAP

SCALE: 1" = 500'



NORTH

## PUD CONDITIONS PER TOC-SP-062A

LAND USE:	MIXED RESIDENTIAL (LOT MR-2A) CONSISTS OF A VARIETY OF RESIDENTIAL TYPES AND INCLUDES SINGLE FAMILY DETACHED, CLUSTER HOMES, PATIO HOMES, ZERO LOT LINE HOMES, TOWNHOMES, CONDOMINIUM HOMES AND APARTMENTS
BUILDING SETBACKS:	FRONT = 8 FEET REAR = 8 FEET SIDE = 6 FEET
HEIGHT LIMITATIONS:	75 FEET
AGE RESTRICTED HOUSING:	THE DEVELOPER PROPOSES TO RESERVE 15% OF THE TOTAL NUMBER OF UNITS AS AGE RESTRICTED.
OPEN SPACE DESCRIPTIONS:	COMMON OPEN SPACE ARE AREAS EXCLUDED FROM DEVELOPMENT PARCELS AND WILL BE MAINTAINED BY THE APPROPRIATE OWNERS ASSOCIATION. THESE AREAS WILL REMAIN UNDISTURBED EXCEPT AS REQUIRED FOR THE CONSTRUCTION OF STREETS, PATHWAYS, UTILITIES, AND WATER QUALITY DEVICES. DISTURBED AREAS WITHIN COMMON OPEN SPACE SHALL BE REVEGETATED ACCORDING TO TOWN OF CARY TYPE "C" BUFFER REQUIREMENTS. COMMON OPEN SPACE SHALL SERVE AS A BUFFER. NO ADDITIONAL BUFFERS OR STREETSCAPE SHALL BE REQUIRED.

LANDSCAPE STRIPS ARE PERMANENT LANDSCAPE EASEMENTS RESERVED TO PROVIDE HORIZONTAL SEPARATION BETWEEN LAND UNITS AND USES. IN MOST INSTANCES THE EXISTING VEGETATION WILL REMAIN UNCHANGED. HOWEVER, IF THE EXISTING VEGETATION IS INADEQUATE OR DISTURBED BY GRADING, ADDITIONAL PLANTINGS SHALL BE ADDED. DISTURBED AREAS WITHIN LANDSCAPE STRIPS SHALL BE RE-VEGETATED ACCORDING TO TOWN OF CARY TYPE "C" BUFFER REQUIREMENTS. LANDSCAPE STRIPS ARE INCLUDED WITHIN THE PERIMETER BOUNDARIES OF DEVELOPMENT PARCELS WHERE NO COMMON OPEN SPACE IS SPECIFIED AND SHALL REMAIN PART OF THE PARCEL. LANDSCAPE STRIPS SHALL SERVE AS BUFFERS. NO ADDITIONAL BUFFER OR STREETSCAPE SHALL BE REQUIRED.

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02-0112A	LIGHTING PLAN

## SITE DATA

OWNER (LOT 5):	CONCORDIA VENTURE CORPORATION
ADDRESS:	700 WATERFORD LAKE DRIVE, CARY NC
REID#:	0340052
FIN #:	0725 81 2621
SITE AREA (AC):	1.74 AC
PROPOSED BLDG. SQUARE FOOTAGE:	17,039 SF (RESIDENTIAL - CONDOMINIUMS)
OWNER (LOT 6):	CONCORDIA VENTURE CORPORATION
ADDRESS:	1000 WATERFORD LAKE DRIVE, CARY NC
REID#:	0340053
FIN #:	0725 81 4614
SITE AREA (AC):	0.82 AC
PROPOSED BLDG. SQUARE FOOTAGE:	17,039 SF (RESIDENTIAL - CONDOMINIUMS)
OWNER (LOT 7):	WATERFORD LAKESIDE AT CARY PARK CONDO HOA
ADDRESS:	1215 WATERFORD LAKE DRIVE, CARY NC
REID#:	0340054
FIN #:	0725 81 6609
SITE AREA (AC):	1.5 AC
PROPOSED BLDG. SQUARE FOOTAGE:	17,039 SF (RESIDENTIAL - CONDOMINIUMS)
OWNER (COMMON OPEN SPACE):	CARY PARK PROPERTY OWNERS ASSOCIATION
ADDRESS:	4112 BLUE RIDGE ROAD, STE. 100, RALEIGH NC
REID#:	0374 43
FIN #:	0725 81 3945
SITE AREA (AC):	5.17 AC
PROPOSED BLDG. SQUARE FOOTAGE:	N/A
ZONING:	FDD MAJOR
LAND USE:	MIXED RESIDENTIAL
WATERSHED:	JORDAN LAKE (UPPER NEW HOPE)
MAX. ALLOWABLE DENSITY:	17.4 DU / AC
PROPOSED DENSITY (LOTS 1 THRU 7):	10.86 DU / AC
BLDG SETBACKS:	FRONT - 8 FT REAR - 8 FT SIDE - 6 FT HEIGHT - 75 FT
(PUJ CONDITIONS)	
LINEAR FOOTAGE OF PROP. ROADS & UTILITIES	0 (EXISTING)
NUMBER OF PROP. NEW UTILITY TAPS	0 (EXISTING)
LINEAR FOOTAGE OF PROP. 8' PUBLIC GREENWAY	460 LF
AREA OF 20' TOWN OF CARY GREENWAY EASEMENT	6,300 SF
DISTURBED AREA FOR GREENWAY CONSTRUCTION	0.99 AC
PARKING REQUIRED PER BLDG:	
4 X 1 BDRM UNIT X 2 SPACES/UNIT	= 8 SPACES
6 X 2 BDRM UNIT X 2 SPACES/UNIT	= 12 SPACES
8 X 3 BDRM UNIT X 2.5 SPACES/UNIT	= 20 SPACES
18 X 0.25 VISITOR SPACES/UNIT	= 4.5 SPACES
TOTAL REQUIRED:	= 44.5 SPACES
TWO PROPOSED BLDGS (LOTS 5 & 6)	REQUIRE 89 SPACES
SPACES PROVIDED: 87* (SEE NOTE BELOW)	
HANDICAP SPACES REQUIRED (LOTS 5 & 6)	4 SPACES (1 VAN)
HANDICAP SPACES PROVIDED (LOTS 5 & 6)	4 SURFACE SPACES 2 VAN ACCESSIBLE UNDER EACH BLDG 8 HANDICAP SPACES
TOTAL HC SPACES PROVIDED:	8 HANDICAP SPACES
BICYCLE RACKS REQUIRED:	1 PER BLDG (X 2 BLDGS)
BICYCLE RACKS PROVIDED:	2

\*A MODIFICATION REQUEST LETTER HAS BEEN SUBMITTED TO THE TOWN OF CARY PLANNING DEPARTMENT TO REQUEST A REDUCTION OF THE NUMBER OF PARKING SPACES FROM THE REQUIRED 89 SPACES FOR THE TWO NEW BUILDINGS TO THE 87 SPACES THAT WERE ACTUALLY CONSTRUCTED FOR THESE TWO BUILDINGS BY A PREVIOUS PROJECT. THE PREVIOUSLY APPROVED PLAN MET THE PARKING REQUIREMENTS FOR THE OVERALL DEVELOPMENT.

16-SP-024  
 HTE # 16-1162  
 Approved by the Town of Cary  
 Development Review Committee  
 Planner: *[Signature]* Date: 8/23/2016

ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS IN PLACE AT TIME OF PLAN APPROVAL



1149 EXECUTIVE CIRCLE, SUITE C-1  
 CARY, NC 27511  
 P:919.576.9733

NCBELS # C-3847

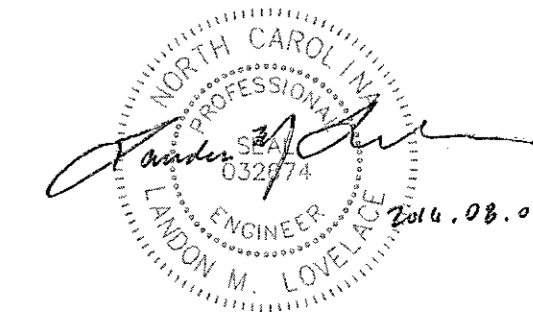
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 CARY PARK

CARY, NC

COVER SHEET

SUBMITTAL:	DRAWN BY:	CHECKED BY:	DATE:
1st SUBMITTAL	TMB	LML	2016.04.11
2nd SUBMITTAL	TMB	LML	2016.05.26
3rd SUBMITTAL	TMB	LML	2016.06.23
4th SUBMITTAL	TMB	LML	2016.07.21
MASTER SUBMITTAL	TMB	LML	2016.08.01

SEALED BY:



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 AT CARY PARK  
 CARY, NC

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