

**NOTES**

- PER THE APPROVED WEST PARK PLACE P.U.D. DOCUMENTS, THE MAXIMUM ALLOWABLE SQUARE FOOTAGE IS 120,000 S.F. AND 10% OF THE BUILDING SQUARE FOOTAGE MUST BE DEVELOPED AS USES ALLOWED IN O&I ZONING. THE DEVELOPER WILL MEET THE 10% O&I USES REQUIREMENT WITH THE FINAL OCCUPANCY OF THE SITE AND THIS PLAN IS INTENDED TO PRESERVE FLEXIBILITY IN THE MANNER FOR WHICH THE O&I USES ARE MET.
- BECAUSE OF THE SHARING OF PARKING BETWEEN SITES, THE HANDICAP PARKING REQUIREMENTS FOR PARCELS 6 AND 7 ARE SHOWN AS COMBINED IN THE PARCEL 7 SITE DATA.
- THE PROPERTY LINE AT THE INTERSECTION OF HIGH HOUSE ROAD AND N.C. 55 IS THE ABANDONED HIGH HOUSE ROAD NORTHERN RIGHT-OF-WAY. THE 50' BUFFER IS MEASURED FROM THIS ABANDONED RIGHT-OF-WAY.
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF DEVELOPMENT SERVICES.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS THE REQUIRED BUFFER TYPE (i.e. TYPE A,B,C, AND 100' THROUGHFARE CORRIDOR BUFFER) THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- RETAINING WALLS TO BE KEYSTONE TYPE BLOCK, COLOR SIMILAR TO BRICK COLOR.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COST ASSOCIATED WITH STREET LIGHTING ALONG ALL PROPOSED STREETS, ADJACENT STREETS AND THROUGHFARES REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT CAROLINA POWER & LIGHT COMPANY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE.
- THE DEVELOPER IS RESPONSIBLE FOR ALL WETLANDS PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- A DEVELOPER AGREEMENT WILL BE SUBMITTED PRIOR TO BIDDING ANY ROADWAY IMPROVEMENT PROJECT OR THE DEVELOPER FORFEITS THEIR REQUEST FOR A DEVELOPER AGREEMENT.
- ALL ROOF TOP HVAC UNITS WILL BE SCREENED W/PREFINISHED METAL PAINTED TO MATCH BRICK COLOR.

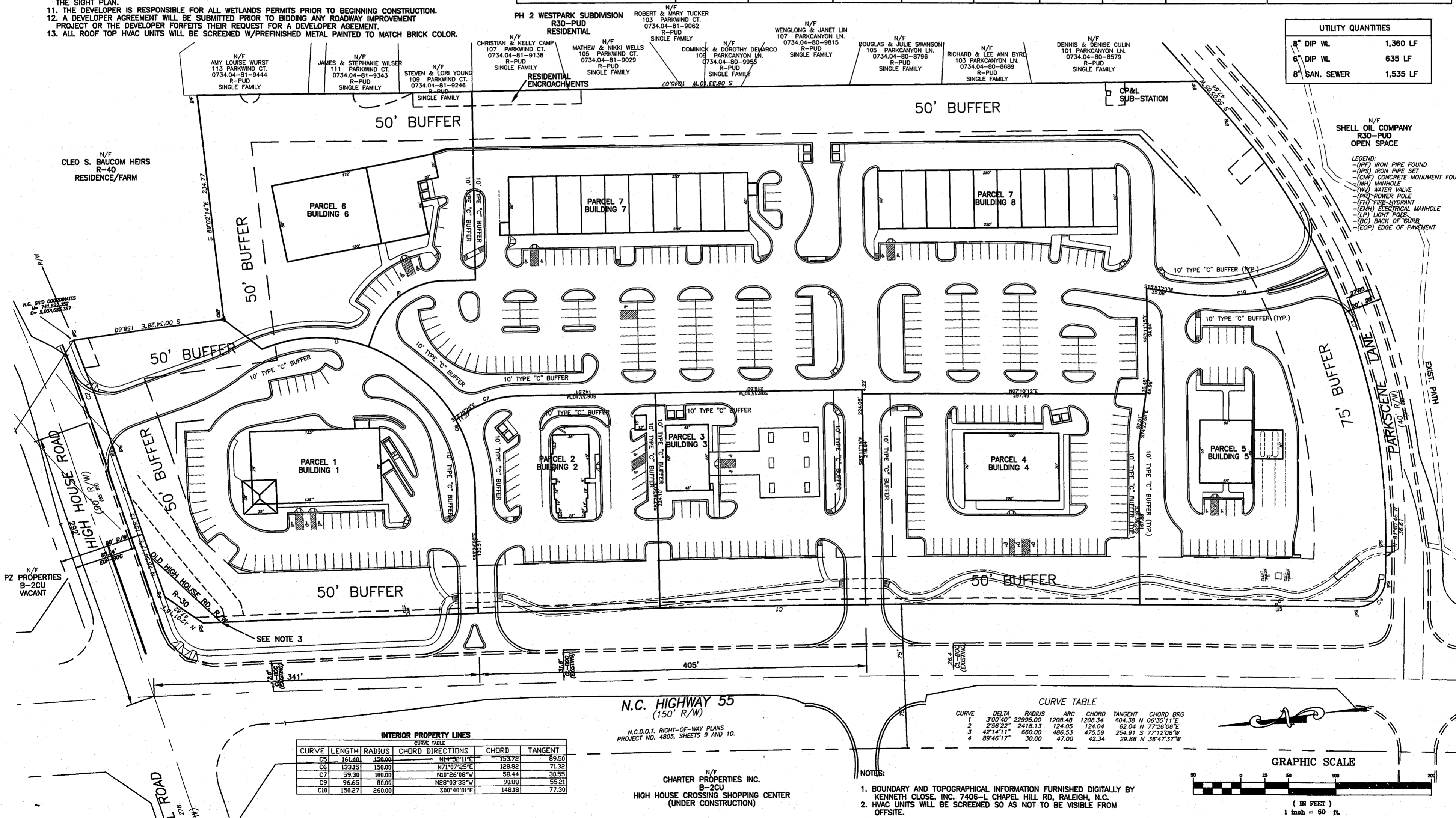
**SITE DATA**

	PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4	PARCEL 5	PARCEL 6	PARCEL 7	TOTALS	
ZONING	R-30 PUD	R-30 PUD	R-30 PUD	R-30 PUD	R-30 PUD	R-30 PUD	R-30 PUD	R-30 PUD	
ACREAGE	2.36 AC.	0.99 AC.	1.11AC.	1.46 AC.	1.83 AC.	1.48 AC.	6.10 AC.	15,329 AC.	PIN NUMBERS 0734.04-81-4610 0734.04-80-5933
BLDG. S.F.	10,125	3,000	3,060	7,000	3,575	12,000	30,000	68,760 (SEE NOTE 1)	OWNER SHELL OIL COMPANY PHYLIS JACOBS, AGENT CRA MANAGEMENT 8825 WESTVIEW HOUSTON, TEXAS 77055 713-932-9898
PARKING REQUIRED	51(1/200SF)	40(120 SEATS)	20(1/150SF)	75(225 SEATS)	12(1/300SF)	60(1/200SF)	145 (26,700 @ 1/200SF & 3,300 @ 1/300SF)	403	
PARKING PROVIDED	51	26	29	67	28	11	192	407(W/H)C389(W/O)	CARY PROJECT NUMBER 98-SP-229
IMPERVIOUS SURFACE AREA (S.F.)	59,840 SF	29,957 SF	32,392 SF	39,616 SF	31,445 SF	23,530 SF	172,770 SF	389,550 SF	DENUDED AREA ON SITE 565,585 SF
HANDICAP PARKING REQUIRED	3 SPACES	2 SPACES	2 SPACES	3 SPACES	2 SPACES	SEE NOTE 2	7 SPACES	19 SPACES	
HANDICAP PARKING PROVIDED	3 SPACES	2 SPACES	2 SPACES	3 SPACES	2 SPACES	SEE NOTE 2	7 SPACES	19 SPACES	

**WITHERS & RAVENEL**  
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**UTILITY QUANTITIES**

8" DIP WL	1,360 LF
8" DIP WL	635 LF
8" SAN. SEWER	1,535 LF

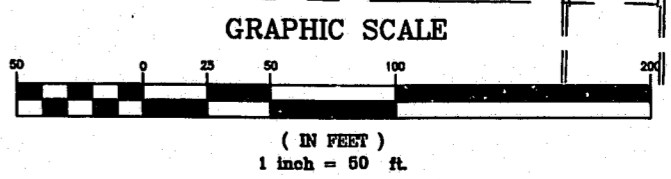


**INTERIOR PROPERTY LINES**

CURVE	LENGTH	RADIUS	CHORD DIRECTIONS	CHORD	TANGENT
C5	161.40	150.00	N14°32'11"E	153.72	89.50
C6	133.15	150.00	N71°07'29"E	128.82	71.32
C7	59.30	100.00	N10°25'00"W	58.44	30.55
C8	96.65	100.00	N28°09'33"W	90.88	55.21
C10	150.27	250.00	S00°40'01"E	148.18	77.30

**CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
1	37°04'00"	22995.00	1208.48	1208.34	904.38	N 06°35'11"E
2	2°56'22"	2416.13	124.03	124.04	62.04	N 77°23'00"E
3	42°14'11"	660.00	486.53	475.59	254.91	S 77°12'08"W
4	89°46'17"	30.00	47.00	42.34	29.88	N 36°47'37"W



DRAWING TITLE  
**OVERALL SITE PLAN**  
**PRELIMINARY**

PROJECT TITLE  
**WEST PARK PLACE**

**REVISIONS**

NUMBER	DESCRIPTION	DATE
1	TOC 1ST REV COMMENTS	11/1/98
2	PER TOC 2ND REVIEW	12/14/98
3	PER TOC 3RD REVIEW	1/8/99

DRAWN BY DOU  
 CHECKED BY LGS  
 DATE ISSUED 8/1/1997  
 SCALE 1"=50'  
 JOB NO. 96184

SHEET NO. **1**