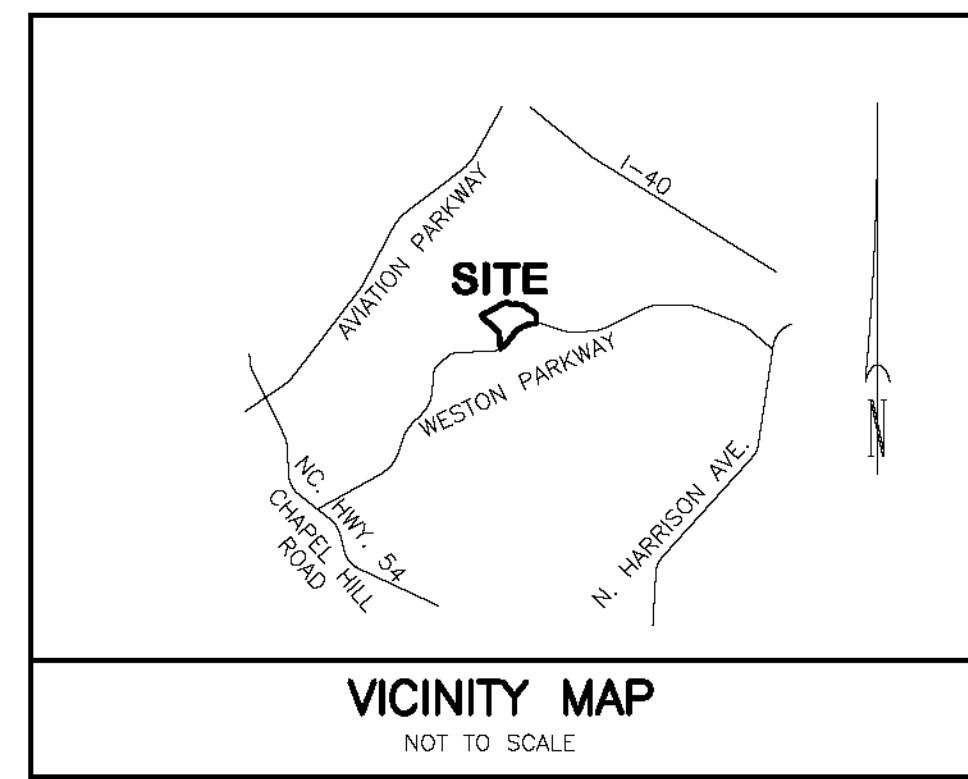


**TOWN OF CARY SITE PLAN INFORMATION**

1. PROJECT NAME:	WESTON LAKE FRONT
2. STREET ADDRESS:	10100 WESTON PKWY CARY, NORTH CAROLINA
3. TOTAL AREA IN SITE:	40.14 AC.± (SURVEYED AND DEEDED)
4. CURRENT ZONING:	PDD-MAJOR (WESTON)
5. PARCEL IDENTIFICATION NUMBER:	0755-97-3059 & 0765-07-1249
6. REAL ESTATE IDENTIFICATION NUMBER:	0222920 & 0183408
7. EXIST. BUILDING SQUARE FOOTAGE & USE: PROPOSED BUILDING SQUARE FOOTAGE & USE:	445,068 SF OFFICE NONE
8. TOTAL NUMBER OF LOTS:	2
9. MINIMUM LOT SIZE:	13.43 AC.±
10. PARKING SUMMARY:	
BASIS OF DETERMINATION:	1 SP/300 SF GENERAL OFFICE
TOTAL REQUIRED:	1,490 SPACES
TOTAL PROVIDED:	2,131 SPACES (EXISTING)
TOTAL HANDICAPPED SPACES:	32 SPACES REQUIRED/38 PROVIDED (INCLUDES 6 VAN SPACES) (EXISTING)
11. BICYCLE PARKING SUMMARY:	
BASIS OF DETERMINATION:	1 RACK/50,000 SF
TOTAL REQUIRED:	9 RACKS
TOTAL PROVIDED:	12 RACKS @ 10 SPACES EACH = 120 SPACES (EXISTING)
12. DISTURBED AREA:	9.5 AC.±
13. ROAD SETBACK:	50'
14. QUANTITIES:	
LINEAR FT. OF ROAD IMPROVEMENTS PROPOSED:	0
LINEAR FT. OF FIRE LANE PROPOSED:	0
LINEAR FT. OF WATER LINES PROPOSED:	0
LINEAR FT. OF SEWER LINES PROPOSED:	53± (6" SERVICE)
LINEAR FT. OF RECLAIMED WATER LINES PROPOSED:	0
WATER TAPS PROPOSED:	0
RECLAIMED WATER TAPS PROPOSED:	0
SEWER TAPS PROPOSED:	1
15. TOTAL PROJECTED SEWER FLOW:	NO ADDITIONAL FLOW
16. INSIDE TOWN LIMITS:	YES
17. DEDICATED STREET RIGHT OF WAY:	NONE
18. ON-SITE IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	10.35 ACRES± EXISTING 0.04 ACRES
19. OWNER:	HIGHWOODS REALTY LIMITED PARTNERSHIP 3100 SMOKETREE COURT, SUITE 600 RALEIGH, NORTH CAROLINA 27604
20. CONTACT PERSON:	RON HENDRICKS PIEDMONT LAND DESIGN, LLP 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 (919) 845-7600 (PHONE) (919) 845-7703 (FAX) ronh@piedmontlanddesign.com (E-MAIL)

# DEVELOPMENT PLAN SUBMITTAL FOR: WESTON LAKE FRONT GRADING & LANDSCAPE REVISIONS

## WESTON PARKWAY CARY, NORTH CAROLINA WAKE COUNTY

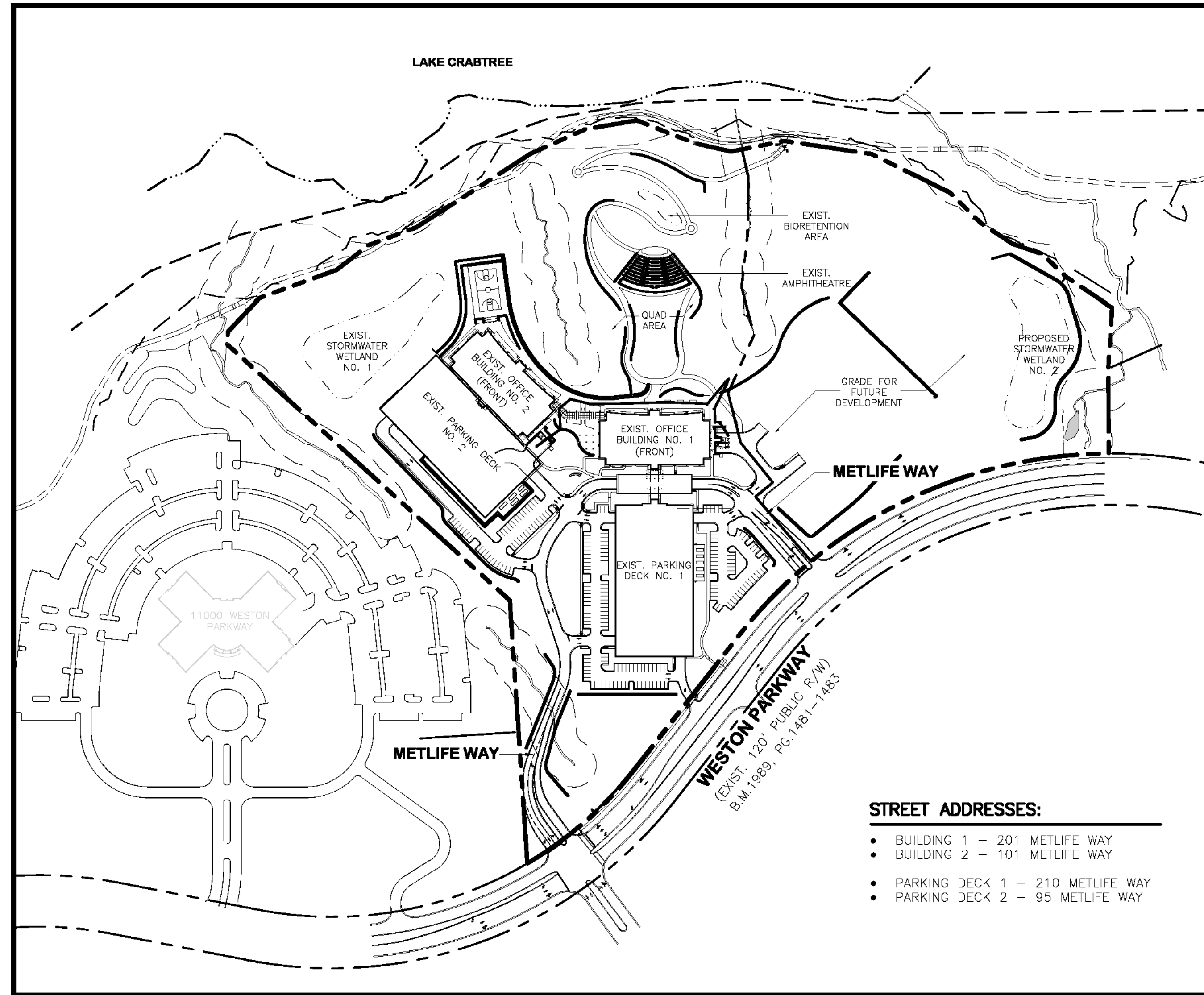


**GENERAL NOTES**

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CARY AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY INFORMATION IS FROM A WETLANDS DELINEATION MAP OF PAPEC WESTON III & HIGHWOODS SERVICES INC PROPERTY BY WITHERS & RAVENEL.
- ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C AND ADA STANDARDS.
- NO CHANGES TO ANY ASPECT OF THIS DEVELOPMENT PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, ARCHITECTURAL DESIGN, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW COMMITTEE OF THE TOWN OF CARY.
- UNLESS EXPLICITLY SPECIFIED IN THE NOTES ON THIS DEVELOPMENT PLAN, THIS PROJECT, INCLUDING ANY SUBSEQUENT DEVELOPMENT PLANS, SHALL COMPLY WITH THE CARY LAND DEVELOPMENT ORDINANCE (LDO) AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED DEVELOPMENT PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, AND ABSENT CLARIFICATION OR APPROVAL OF SUCH STATED ON THIS DEVELOPMENT PLAN OR OTHER RELATED APPROVAL, THE APPLICABLE REGULATION OR GUIDELINE SHALL APPLY.
- SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED WITH THIS DEVELOPMENT PLAN.

**MINOR MODIFICATIONS SUMMARY**

THE FOLLOWING MINOR MODIFICATIONS TO THE DEVELOPMENT STANDARDS HAVE BEEN APPROVED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE LDO:  
NO MODIFICATIONS REQUIRED



**STREET ADDRESSES:**

- BUILDING 1 - 201 METLIFE WAY
- BUILDING 2 - 101 METLIFE WAY
- PARKING DECK 1 - 210 METLIFE WAY
- PARKING DECK 2 - 95 METLIFE WAY

**INDEX OF DRAWINGS**

CML	LANDSCAPE
SITE 1 COVER SHEET	L1.00 LANDSCAPE PLAN
SITE 2 OVERALL SITE PLAN	L1.01 LANDSCAPE PLAN
SITE 3 STAKING PLAN	L1.02 LANDSCAPE PLAN
SITE 4 GRADING AND STORM DRAINAGE PLAN	L1.03 LANDSCAPE PLAN
SITE 5 EROSION CONTROL PLAN	L1.05 LANDSCAPE PLAN
SITE 6 UTILITY PLAN	L1.06 LANDSCAPE PLAN
SITE 7 SITE DETAILS	L1.08 LANDSCAPE DETAILS
SITE 8 SITE DETAILS	

**REVISION TO APPROVED PLANS**

- 13-SP-036-A
- REVISE PLAZA DESIGN BETWEEN AND BEHIND THE BUILDINGS.
  - REVISE ARRIVAL COURT AT BUILDINGS.
  - ADD AMPHITHEATRE AND PRIVATE GREENWAY TO LAKE BEHIND BUILDING 1.
  - REVISE SIDEWALK BETWEEN BUILDINGS AND FROM ARRIVAL COURT TO BUILDING 1.
  - REVISE GENERATOR LAYOUT.
  - REVISE GRADES ON FUTURE BUILDING PAD.
  - REVISE GREASE TRAP AT BUILDING 1 AND ADD ONE AT BUILDING 2.
  - ADD WATER AND SEWER SERVICE TO DECK 2.
- 17-DP-1414
- REVISE GRADES ON FUTURE BUILDING PAD.
  - ADD RETAINING WALLS 24, 25 AND 26.
  - INSTALL SEWER STUB.



SCALE: 1" = 200'

**PLD**  
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RALEIGH, NORTH CAROLINA 27615  
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ENGR. FIRM LIC. NO. F-0843



17-DP-1414

**WESTON LAKE FRONT  
WESTON PARKWAY  
CARY, NORTH CAROLINA**

ISSUED: 13 JULY 2017

**REVISIONS:**

02 AUGUST 2017  
REVISE PER TOWN COMMENTS.

DRAWN BY: EMH  
CHECKED BY: RPH  
PROJECT: HWWL

**COVER SHEET**

DWG. NO. **SITE 1**

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