

NOW OR FORMERLY
CHARLES M. WEILL
ZONING: PEC
USE: RESIDENTIAL

NOW OR FORMERLY
PITCAIRN GROUP
LIMITED PARTNERSHIP
D.B. 4831, PG. 301
ZONING: PEC
USE: VACANT

NOW OR FORMERLY
NORTHERN TELECOM DISTRIBUTION CENTER
ZONING: PEC
USE: WAREHOUSE

NOW OR FORMERLY
WOODLAKE CENTER
LOT 2
ZONING: PEC
USE: WAREHOUSE

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PITCAIRN GROUP
LIMITED PARTNERSHIP
D.B. 4831, PG. 301
ZONING: PEC
USE: VACANT

GENERAL NOTES

- ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH SHALL BE REPORTED TO THE ENGINEER BEFORE REMOVAL FOR FINAL DISPOSITION.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION WORK SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH GOVERNMENT REGULATIONS.
- SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
- ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSIDERED AS INFORMATION ONLY.
- CLEAR AND GRUB ALL AREAS TO RECEIVE PAVEMENT/STRUCTURES AS REQUIRED BY SPECIFICATIONS.
- ALL STRUCTURES/UTILITIES DESIGNATED FOR MODIFICATION SHALL BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION.
- STRIP TOPSOIL, CLEAR AND GRUB AS REQUIRED WITHIN CONSTRUCTION LIMITS. STOCKPILE TOPSOIL WITHIN CONSTRUCTION LIMITS FOR REDISTRIBUTION AFTER FINAL GRADING OPERATIONS ARE COMPLETED.
- NO EXISTING TREES ARE ON THIS SITE.

NOTES KEYED TO PLAN

- (A) CONTRACTOR SHALL REMOVE EXISTING FES AND CONSTRUCT NEW CATCH BASIN. SEE SHEETS C3.1 AND C7.2 FOR DETAILS.
- (B) STRUCTURES/UTILITIES TO REMAIN. SEE SHTS C2.1 & C4.1 FOR DETAILS.
- (C) EXISTING PAVEMENT TO REMAIN.
- (D) EXISTING CURBS AND GUTTER TO BE REMOVED.
- (E) CONTRACTOR SHALL REMOVE EXISTING CATCH BASIN AND PLUG EX 15" RCP STORM DRAIN PIPE. SEE SHEET C3.1 FOR DETAILS.

ASPH, S/W, CONC PADS AND/OR C&G TO BE REMOVED. SAW CUT EX PVMT, C&G, S/W, ETC. TO PROVIDE STRAIGHT AND UNIFORM LINE FOR REMOVAL. EX PVMT, C&G, S/W, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTR. SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.

BORING NO.	APPROXIMATE DEPTH TO PWR (FEET)	APPROXIMATE DEPTH TO REFUSAL (FEET)
B-1	1	10
B-2	1	6
B-3	3	8
B-4	6	8
B-5	4	1
B-6	GRND SURFACE	1
B-7	6	6.5
B-8	5	9
B-9	9	12
B-10	9	1

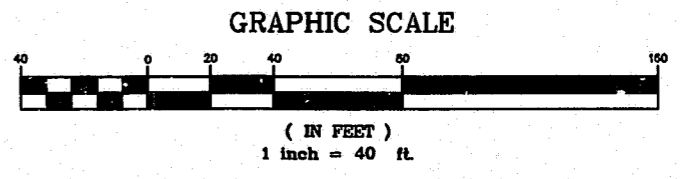
EXISTING SANITARY SEWER INFORMATION

MH NO.	RIM	INV IN	INV OUT
MH#1	356.66'	345.11'	342.61'
MH#2	349.80'	341.21'	341.01'
MH#3	345.02'	335.27'	335.07'

EXISTING STORM DRAINAGE INFORMATION

CB NO.	RIM	INV IN	INV OUT
CB#1	354.54'	N/A	351.04'
CB#2	354.35'	N/A	350.85'
CB#3	354.54'	N/A	350.17'
CB#4	350.49'	346.99'	346.99'
CB#5	348.09'	N/A	344.59'
CB#6	344.60'	332.10'	330.34'
CB#7	348.31'	342.81'	342.81'
CB#8	349.44'	N/A	345.01'

APPROVED
7/28/99
TM 4-6-99



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**WOODLAKE CENTER
LOT 5**
WEEKS REALTY, LP
1800 PERIMETER PARK DRIVE, SUITE 200
MORRISVILLE, NORTH CAROLINA

**SITE
EXISTING
CONDITIONS AND
DEMOLITION
PLAN**

ISSUE SEQUENCE

NO.	DATE	DESCRIPTION
1	1/28/99	ISSUE FOR CONSTRUCTION
2	3/9/99	REMOVE EXISTING CB

PROJECT NO.: LIC045.000
DESIGNED BY: ARP
DRAWN BY: ARP
DATE: 1/28/99

C11
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