

NOW OR FORMERLY  
CHARLES M. WEILL  
ZONING: PEC  
USE: RESIDENTIAL

NOW OR FORMERLY  
PITCAIRN GROUP  
LIMITED PARTNERSHIP  
D.B. 4831, PG. 301  
ZONING: PEC  
USE: VACANT

NOW OR FORMERLY  
NORTHERN TELECOM DISTRIBUTION CENTER  
ZONING: PEC  
USE: WAREHOUSE

NOW OR FORMERLY  
PITCAIRN GROUP  
LIMITED PARTNERSHIP  
D.B. 4831, PG. 301  
ZONING: PEC  
USE: VACANT

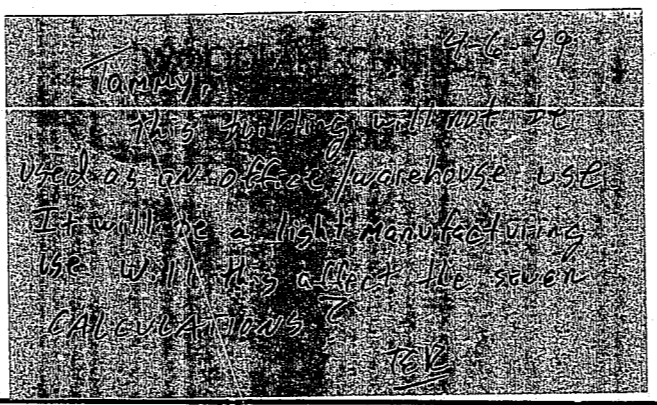
NOW OR FORMERLY  
WOODLAKE CENTER  
LOT 2  
ZONING: PEC  
USE: WAREHOUSE

NORTHERN TELECOM  
PARKING LOT  
ZONING: PEC

WOODLAKE CENTER  
LOT 4  
ZONING: PEC  
USE: WAREHOUSE

**WATER SYSTEM DATA TABLE**

175 LF	10" DIP
325 LF	8" DIP
180 LF	2" COPPER



**SANITARY SEWER SITE DESIGN DATA**

USAGE: WAREHOUSE/OFFICE SPACE  
115,000 SF WAREHOUSE  
25,000 SF OFFICE SPACE

WAREHOUSE SPACE:  
FLOW FACTOR = 0.20 GAL/DAY/SF  
AVERAGE FLOW = 115,000x0.20 = 23,000 GPD  
PEAK FLOW RATIO = 3.3  
PEAK FLOW = 52.7 GPM

OFFICE SPACE:  
FLOW FACTOR = 0.09 GAL/DAY/SF  
AVERAGE FLOW = 25,000x0.09 = 2,250 GPD  
PEAK FLOW RATIO = 3.3  
PEAK FLOW = 5.2 GPM

TOTAL FLOW:  
AVERAGE FLOW = 25,250 GPD  
PEAK FLOW RATIO = 3.3  
PEAK FLOW = 57.9 GPM

**SCHEDULE FOR SANITARY SEWER SERVICE**

FROM	TO	SLOPE	PIPE DIA. (IN)	PIPE MATERIAL	PIPE LENGTH (LF)	UPPER INVERT (FT)	LOWER INVERT (FT)
1	2	0.0100	6	DIP	30.7	341.10	340.79
2	3	0.0100	6	DIP	80.0	340.79	339.99
3	4	0.0100	6	DIP	80.0	339.99	339.19
4	5	0.0100	6	DIP	52.7	339.19	338.67
5	EX MH#3	0.0100	6	DIP	39.2	338.67	338.27

282.6 LF OF 6" DIP SANITARY SEWER SERVICE

**GENERAL NOTES**

- ALL WATER LINES SHALL BE INSTALLED WITH A MIN OF 4 FEET OF COVER.
  - MAINTAIN 18" MIN VERTICAL SEPARATION AT ALL UTILITY CROSSINGS.
  - VERIFY ALL ILLUSTRATED UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF CONFLICTS ARE ENCOUNTERED.
  - COORDINATE WITH LOCAL UTILITY COMPANIES AS REQUIRED.
- SOUTHERN BELL  
ATTN: DANNY STANCI, ENG.  
5715 GLENWOOD AVENUE  
RALEIGH, NC 27612  
919-571-2080
- CAROLINA POWER & LIGHT CO.  
ATTN: DAVID TIMBERLAKE  
P.O. BOX 1007  
CARY, NC 27512  
919-481-6140
- TIMWARNER  
ATTN: DAVID BASON  
P.O. BOX 126  
CARY, NC 27512  
919-467-8732
- PUBLIC SERVICE CO. OF NC  
ATTN: CHRIS PRINCE  
P.O. BOX 1187  
CARY, NC 27512  
919-469-9461
- REFER TO SHT C3.1 FOR ADDITIONAL STORM DRAINAGE INFORMATION AND SHT C7.4 FOR STORM DRAINAGE SCHEDULE FOR TOP'S AND INV ELEVATIONS.
  - ALL UTILITIES SHALL BE INSTALLED AS SPECIFIED BY THE LATEST TOWN OF CARY STANDARD SPECS AND DETAILS.

**NOTES KEYED TO PLAN**

- (A) NEW THRUST BLOCKING, SEE DETAIL SHEET C7.3.
- (B) 10"x10" TAPPING SLEEVE AND 10" GATE VALVE.
- (C) NEW 2" SADDLE TAP WITH CORPORATION STOP.
- (D) NEW 10"x8" REDUCER.
- (E) NEW FIRE DEPARTMENT CONNECTION (FDC)
- (F) NEW 10"x10"x8" TEE.
- (G) INSTALL WATER LINE TO ONE FOOT ABOVE FINISHED FLOOR ELEVATION. SEE RISER DETAIL ON SHT C7.3.
- (H) NEW 8" GATE VALVE.
- (I) NEW SANITARY SEWER CLEANOUT, SEE DETAIL SHEET C7.3.
- (J) NEW STANDARD INSIDE DROP FOR SANITARY SEWER SERVICE, SEE DETAIL SHEET C7.3.
- (K) NEW 1-1/2" WATER METER, SEE DETAIL SHT C7.3.
- (L) NEW 4" PVC (SCH 40) WATER METER VAULT DRAIN. MIN 3" COVER, MIN 1.0% SLOPE AND INVERT IN AT A3 = 343.00'
- (M) NEW POST INDICATOR VALVE (PIV)
- (N) CONTRACTOR SHALL OPEN CUT EXISTING ROADWAY.
- (O) NEW 10" GATE VALVE.

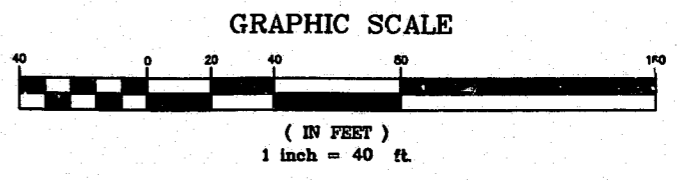
**EXISTING SANITARY SEWER INFORMATION**

MH NO.	RM	INV IN	INV OUT
MH#1	356.66'	345.11'	342.61'
MH#2	349.80'	341.21'	341.01'
MH#3	345.02'	335.27'	335.07'

**EXISTING STORM DRAINAGE INFORMATION**

CB NO.	RM	INV IN	INV OUT
CB#1	354.54'	N/A	351.04'
CB#2	354.35'	N/A	350.85'
CB#3	354.54'	N/A	350.17'
CB#4	350.49'	346.99'	346.99'
CB#5	348.09'	N/A	344.59'
CB#6	344.80'	332.10'	330.34'
CB#7	346.31'	342.81'	342.81'
CB#8	349.44'	N/A	345.01'

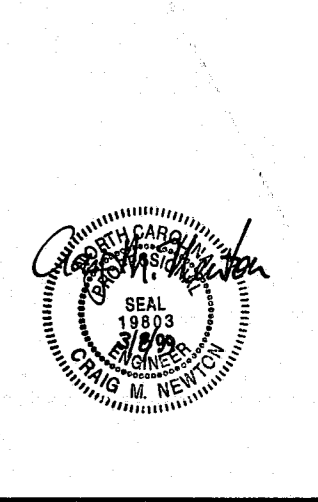
**APPROVED**  
TEL 4-5-99  
TM 4-6-99



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**WOODLAKE CENTER  
LOT 5**  
WEEKS REALTY, LP  
1800 PERIMETER PARK DRIVE, SUITE 200  
MORRISVILLE, NORTH CAROLINA

**SITE UTILITY SHEET**

**ISSUE SEQUENCE**

NO.	DATE	DESCRIPTION
1	1/28/99	ISSUE FOR CONSTRUCTION
2	3/9/99	REVISED WATER LINE

PROJECT NO.: LIC045.000  
DESIGNED BY: ARP  
DRAWN BY: ARP  
DATE: 1/28/99

**C4.1**  
OF 13

CADD # G:\LIC\045\CIVL\710CBASE