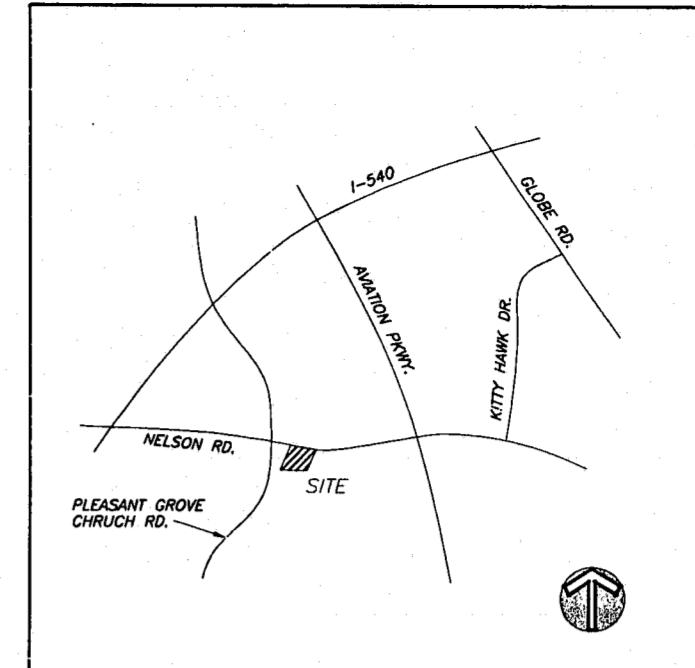


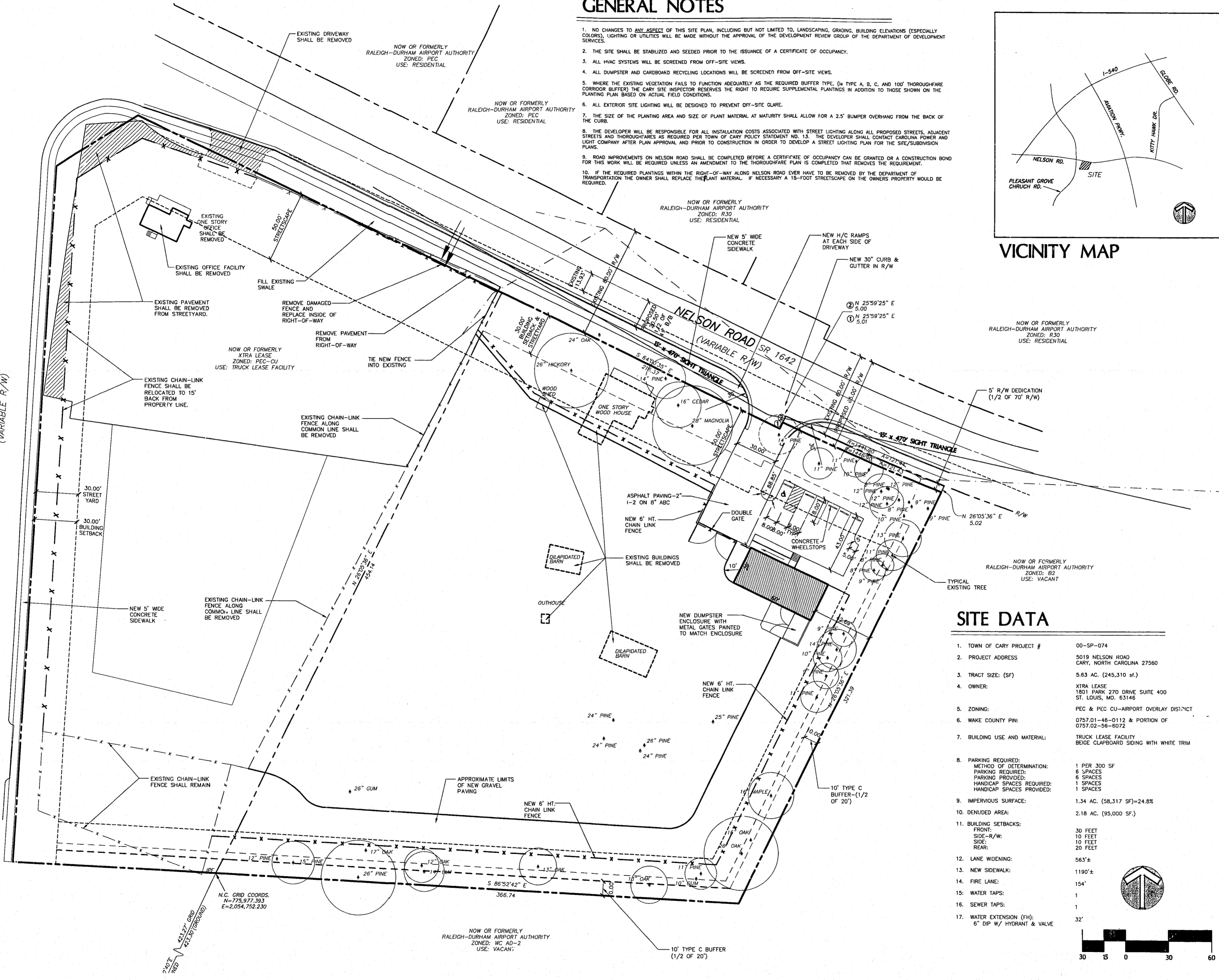
# GENERAL NOTES

- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF DEVELOPMENT SERVICES.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- WHERE THE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS THE REQUIRED BUFFER TYPE, (to TYPE A, B, C, AND 100' THROUGHFARE CORRIDOR BUFFER) THE CARY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF THE CURB.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG ALL PROPOSED STREETS, ADJACENT STREETS AND THROUGHFARES AS REQUIRED PER TOWN OF CARY POLICY STATEMENT NO. 13. THE DEVELOPER SHALL CONTACT CAROLINA POWER AND LIGHT COMPANY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.
- ROAD IMPROVEMENTS ON NELSON ROAD SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE GRANTED OR A CONSTRUCTION BOND FOR THIS WORK WILL BE REQUIRED UNLESS AN AMENDMENT TO THE THROUGHFARE PLAN IS COMPLETED THAT REMOVES THE REQUIREMENT.
- IF THE REQUIRED PLANTINGS WITHIN THE RIGHT-OF-WAY ALONG NELSON ROAD EVER HAVE TO BE REMOVED BY THE DEPARTMENT OF TRANSPORTATION THE OWNER SHALL REPLACE THE PLANT MATERIAL. IF NECESSARY A 15-FOOT STREETScape ON THE OWNERS PROPERTY WOULD BE REQUIRED.



## VICINITY MAP

PLEASANT GROVE CHURCH ROAD SR 1789  
(VARIABLE R/W)



## SITE DATA

1. TOWN OF CARY PROJECT #	00-SP-074
2. PROJECT ADDRESS	5019 NELSON ROAD CARY, NORTH CAROLINA 27560
3. TRACT SIZE: (SF)	5.63 AC. (245,310 sf.)
4. OWNER:	XTRA LEASE 1801 PARK 270 DRIVE SUITE 400 ST. LOUIS, MO. 63146
5. ZONING:	PEC & PEC CU-AIRPORT OVERLAY DISTRICT
6. WAKE COUNTY PIN:	0757.01-46-0112 & PORTION OF 0757.02-56-6072
7. BUILDING USE AND MATERIAL:	TRUCK LEASE FACILITY BEIGE CLAPBOARD SIDING WITH WHITE TRIM
8. PARKING REQUIRED:	1 PER 300 SF
METHOD OF DETERMINATION:	6 SPACES
PARKING PROVIDED:	6 SPACES
HANDICAP SPACES REQUIRED:	1 SPACES
HANDICAP SPACES PROVIDED:	1 SPACES
9. IMPERVIOUS SURFACE:	1.34 AC. (58,317 SF)=24.8%
10. DENUDED AREA:	2.18 AC. (95,000 SF.)
11. BUILDING SETBACKS:	30 FEET
FRONT:	10 FEET
SIDE-R/W:	10 FEET
SIDE:	10 FEET
REAR:	20 FEET
12. LANE WIDENING:	563'±
13. NEW SIDEWALK:	1190'±
14. FIRE LANE:	154'
15. WATER TAPS:	1
16. SEWER TAPS:	1
17. WATER EXTENSION (FH):	32'
6" DIP W/ HYDRANT & VALVE	



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## XTRA LEASE FACILITY

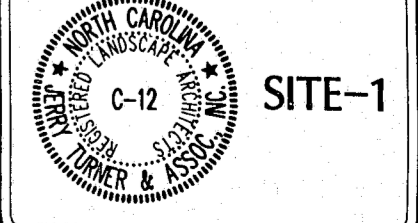
**APPROVED**  
JG 10/6/00  
Jed 10/6/00

REVISIONS  
6/2/2000 REVISED PER TOWN COMMENTS  
6/20/2000  
7/17/2000  
10/5/2000 FOR SIGNATURES

DRAWN: CP  
CHECKED: JT  
SCALE: 1"=30'  
DATE: 5/1/2000  
TITLE: SITE PLAN

## SITE PLAN

FILE NO: 2710.00  
JOB NO:  
SHEET NO:



SITE-1